



Council Chamber, 18500 W. 13 Mile Road, Beverly Hills, Michigan 48025

VILLAGE COUNCIL MEETING

TUESDAY, NOVEMBER 4, 2025 AT 7:00 PM

AGENDA

- A. **Call to Order/ Roll Call**
- B. **Pledge of Allegiance**
- C. **Amendments to the Agenda/Approve Agenda**
- D. **Community Announcements**
- E. **Public Comments**
- F. **Consent Agenda**
 - 1. Approval of October 21, 2025 Council Minutes
 - 2. Review and File Bills recapped as of Monday, November 3, 2025.
- G. **Business Agenda**
 - 1. Consider Special Land Use Request - Beverly Hills Academy
 - 2. Public Hearing and consideration of the Program Year 2026 CDBG Funding Allocation
 - 3. Second Reading of Ordinance #393
 - 4. First Reading of Ordinance #394
 - 5. Approve Purchase of Detective Bureau Vehicle
- H. **Public Comments**
- I. **Manager's Report**
 - 1. November 4, 2025 Manager Report & October 2025 Public Safety Report
- J. **Council Comments**
- K. **Adjournment**

All interested persons may attend and participate in person or virtually at:

<https://us02web.zoom.us/j/89657212787>

Meeting ID: 896 5721 2787 • **Dial in:** 1-646-876-9923

Persons with disabilities who need assistance to participate in this meeting should contact the Clerk's office at 248-646-6404 three days in advance to request mobility, visual, hearing, or other assistance.

Access Council Meeting Materials:
<https://beverlyhillsmi.portal.civicclerk.com/>

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Present: President George, President Pro Tem Drummond, Members: Abboud, Hrydziusko, Kecskemeti, Mercer and O’Gorman

Absent:

Also Present: Village Manager, Rothe
Village Clerk, Brown
Planning & Economic Development Director, Stec
Public Services Director, Johnston

ROLL CALL/CALL TO ORDER/ PLEDGE OF ALLEGIANCE

President George called the regular Village Council meeting to order at 7:00 p.m. in the Village Council Chambers located at 18500 W. Thirteen Mile Road, Beverly Hills, MI 48025. Brown called the roll. The Pledge of Allegiance was recited by those in attendance.

AMENDMENTS TO AGENDA/APPROVE AGENDA

Motion by Hrydziusko, second by Kecskemeti, to approve the agenda as published.

Motion passed.

COMMUNITY ANNOUNCEMENT

Mike White, Vernon Drive, announced that the parking lot north of Market Fresh is open with a new retaining basin, encouraged supporting the business, and congratulated Councilman O’Gorman for completing the half Free Press Marathon with his daughters.

PUBLIC COMMENTS ON ITEMS NOT ON PUBLISHED AGENDA

John Clark, Sleepy Hollow, expressed disappointment that his firm wasn’t interviewed for the Village’s legal services. He cited inconsistencies in bid comparisons and asked the Council to reconsider.

CONSENT AGENDA

Motion by Hrydziusko, second by O’Gorman, be it resolved, that the Council for the Village of Beverly Hills approves the consent agenda.

- A. Approve October 7, 2025, Village Council minutes
- B. Review and File Bills recapped as of Monday, October 20, 2025
- C. Approve DTE Streetlight Replacement Proposal
- D. Adopt Chicken Permit Fees
- E. Approve Parks & Recreation Board Events for 2026

Roll Call:

Motion passed (7-0)

BUSINESS AGENDA

AWARD BID PUBLIC SAFETY CARPORT PROJECT

THESE DRAFT MINUTES HAVE NOT BEEN APPROVED BY COUNCIL.

Rothe gave an overview. Brad Shepler from HRC presented the carport project bid and noted that the low bidder installed the original carports and is familiar with the site's infrastructure. Council and Shepler discussed construction noise, lifespan of carports, color options and notifying nearby residents before work begins.

Motion by Abboud, second by Hrydziuszko, be it resolved, the Beverly Hills Village Council hereby awards the bid (Division 1 Alternate & Division 2 Base) for the Public Safety Carport Project to Ross & Barr in the amount of \$88,000, with a 10% contingency for a total not to exceed amount of \$96,800. Funds are available in account #205-900-975.05

Roll Call:

Motion passed (7-0)

APPROVE GRANT AGREEMENT WITH EGLE FOR ERITY DAM FEASIBILITY STUDY

Rothe gave an overview of two related Business Agenda Items, B & C. Shepler outlined the scope of the study. Council and Shepler discussed sediment management, disposal costs, downstream impacts, environmental implications of both removal and maintaining the dam, and coordination with property owners. Council also discussed the importance of addressing community expectations for the appearance and maintenance of Riverside Pond if the dam remains in place.

Motion by Kecskemeti, second by Hrydziuszko, be it resolved, the Beverly Hills Village Council approves the DRRGP Grant Program Agreement with the Michigan Department of Environment, Great Lakes, and Energy, and authorizes Neil Johnston to sign the agreement.

Roll Call:

Motion passed (7-0)

APPROVE ENGINEERING SERVICES PROPOSAL: ERITY DAM FEASIBILITY STUDY

Motion by Kecskemeti, second by Hrydziuszko, be it resolved, the Beverly Hills Village Council hereby approves the proposal from HRC to conduct a feasibility study on the Eryty Dam.

Roll Call:

Motion passed (7-0)

APPROVE DESIGN ENGINEERING PROPOSAL: FY 2027-2030 WATER MAIN IMPROVEMENTS PROJECTS

Rothe gave an overview. Council, Shepler and Administration discussed the age of existing mains, Southfield Road watermain loop, the lifespan of new materials, lead service line verification, and the use of the EGLE TMF grant for further service line inventory and testing.

THESE DRAFT MINUTES HAVE NOT BEEN APPROVED BY COUNCIL.

Motion by Mercer, second by O’Gorman, be it resolved, the Beverly Hills Village Council hereby approves the design engineering proposal from HRC for Fiscal Years 2027-2030 Water Main Improvement Projects in an amount not to exceed \$340,000, authorizing the Village Administration to execute all necessary agreements. Funds are available in account #592-900-973.99.

Roll Call:
Motion passed (7-0)

CONSIDER GRANTING AN EXTENSION TO HUTCH PAVING FOR THE 2026 ROAD PROGRAM

Rothe gave an overview of the proposed contract extension. Shepler praised Hutch Paving’s performance on the 2025 road program, noting the company’s high-quality work on projects saved the village time and money and minimized resident disruption. Administration, Council and Shepler discussed Hutch Paving, and the legal and procedural framework for extending a contract without rebidding.

Motion by Mercer, second by Kecskemeti, be it resolved, the Village Council hereby grants the requested contract extension to Hutch Paving for the 2026 road program, subject to Council approval of an official change order once final quantities are determined.

Roll Call:
Motion passed (7-0)

FIRST READING OF ORDINANCE #393

Rothe gave the first reading of Ordinance No. 393, a proposed zoning ordinance amendment that would add new regulations for mechanical units installed in residential areas. Council and Administration discussed portable generators, decibels limit, screening and side yard units.

The following resident spoke on the matter:

Mike White, Vernon, commented on the weekday-only testing restrictions, sound measurements standards and commended the transparency of the Village’s video recorded meetings.

APPROVE INSURANCE RENEWAL WITH THE MICHIGAN MUNICIPAL RISK MANAGEMENT AUTHORITY (MMRMA)

Rothe gave an overview and explained that coverage terms remain unchanged from the previous year, but the premium increased slightly due to the addition of several new vehicles.

The following resident spoke on the matter:

Mike White, Vernon, asked whether newly acquired village properties were included in coverage. Rothe confirmed that recently purchased properties had already been added to the insurance schedule.

Motion by Mercer, second by Kecskemeti, be it resolved, the Beverly Hills Village Council approves the Michigan Municipal Risk Management Authority Liability and Property

THESE DRAFT MINUTES HAVE NOT BEEN APPROVED BY COUNCIL.

Insurance renewal effective November 1, 2025, through October 31, 2026, in the amount of \$209,096. Funds are available in accounts 101-248-935.00, 205-345-935.00, and 592-540-935.00.

Roll Call:
Motion passed (7-0)

PUBLIC COMMENTS

None.

MANAGER’S REPORT & FISCAL YEAR 2026 1ST QUARTER FINANCIAL REPORT

Rothe went over the Manager’s report and the 2026 Fiscal Year 2026 1st Quarter Financial Report as provided in the regular Village Council meeting packet.

COUNCIL COMMENTS

Mercer expressed his appreciation for the new meeting portal, noting that it is more convenient for him to access information via the website rather than through email.

O’Gorman shared his experience training for and running the Detroit Half Marathon. O’Gorman noted the friendliness and positivity of residents and remarked that the experience was a reminder of what a great community he lives in.

Hrydziusko invited residents to attend the upcoming Halloween Hoot. Hrydziusko addressed recent discussions regarding free speech, clarifying that while public comment is always welcome, it is the responsibility of Council and residents to ensure that shared information is accurate and truthful. Hrydziusko explained that, per the Village Charter, Council cannot independently place ordinances or issues on a ballot. Hrydziusko emphasized that elected officials are entrusted to make difficult policy decisions rather than deferring them to ballot initiative and she encouraged both Council and residents to stay informed, verify information, and engage in constructive dialogue.

Abboud attended the Michigan Municipal League Transportation Infrastructure Committee meeting, noting \$92 million in new state revenue primarily for public safety. Abboud will attend the upcoming SEMCOG General Assembly in Troy and mentioned ongoing discussions about the NEXT building project. Abboud attended the Public Safety Fill the Boot breast cancer fundraiser and highlighted the final event on Saturday at TJ Maxx from 3–7 p.m. Abboud, noted the approval of House Bill 4845 regarding competitive bidding for road projects.

Drummond thanked the Public Safety Department for their efforts in the “Fill the Boot” breast cancer fundraiser and also thanked Mr. Aboud for his participation. He noted that the event raised \$797 in just three hours and commended everyone involved for supporting a worthy cause.

George congratulated Public Safety Director Arnold on graduating from the Eastern Michigan University School of Police Staff and Command. George mentioned the final Fill the Boot fundraiser taking place Saturday and discussed the importance of civility, open dialogue, and continued respect in public discourse despite disagreements. George expressed interest in

THESE DRAFT MINUTES HAVE NOT BEEN APPROVED BY COUNCIL.

scheduling a civility project session before the upcoming election and reminded residents of the Halloween Hoot on Saturday and the Groves vs. Seaholm football game on Friday. George recognized Giada, a local student athlete, for winning a cross-country league championship. and thanked Administration for their hard work and noted the significant increase in projects and activity within the community.

ADJOURNMENT

Motion by Abboud, second by Hrydziusko, to adjourn the meeting at 9:33 p.m.

Motion passed.

John George
Village President

Carissa Brown
Village Clerk



TO PRESIDENT GEORGE & MEMBERS OF THE VILLAGE COUNCIL. THE FOLLOWING IS A LIST OF
EXPENDITURES FOR APPROVAL. ACCOUNTS PAYABLE RUN FROM 10/20/2025 THROUGH 11/03/2025.

ACCOUNT TOTALS:

101	GENERAL FUND	\$241,330.97
202	MAJOR ROAD FUND	\$12,424.90
203	LOCAL STREET FUND	\$14,436.24
205	PUBLIC SAFETY DEPARTMENT FUND	\$126,660.63
208	PARK IMPROVEMENT FUND	\$343.96
226	RUBBISH COLLECTION	\$36,674.02
271	LIBRARY FUND	\$0.00
401	CAPITAL PROJECTS FUND	\$144,426.56
592	WATER/SEWER OPERATION FUND	\$10,876.89
701	TRUST & AGENCY FUND	\$0.00
730	RETIREE HEALTH CARE FUND	\$0.00
	TOTAL	<u>\$587,174.17</u>
	MANUAL CHECKS- COMERICA	\$0.00
	MANUAL CHECKS- INDEPENDENT	\$0.00
	ACCOUNTS PAYABLE	<u>\$587,174.17</u>
	GRAND TOTAL	<u>\$587,174.17</u>

Check Date	Bank	Check	Vendor	Vendor Name	Amount
Bank COM COMERICA					
11/03/2025	COM	91174	61331	ALTA CONSTRUCTION EQUIPMENT LLC	180,487.57
11/03/2025	COM	91175	60217	AMAZON CAPITAL SERVICES	1,268.52
11/03/2025	COM	91176	59125	APPRIVER, LLC	750.38
11/03/2025	COM	91177	61333	AXON ENTERPRISE, INC.	46,213.26
11/03/2025	COM	91178	30920	BELLE TIRE	105.20
11/03/2025	COM	91179	51409	BEVERLY HILLS ACE	366.79
11/03/2025	COM	91180	60239	BILLINGS LAWN EQUIPMENT	1,736.98
11/03/2025	COM	91181	52071	BLUE CROSS BLUE SHIELD	38,536.90
11/03/2025	COM	91182	50822	BS&A SOFTWARE	8,280.00
11/03/2025	COM	91183	59347	CINTAS CORPORATION #31	4,118.31
11/03/2025	COM	91184	60670	CIVICPLUS LLC	2,701.13
11/03/2025	COM	91185	61141	COMCAST	70.41
11/03/2025	COM	91186	50826	CONSUMERS ENERGY	273.42
11/03/2025	COM	91187	61131	CONTRACTORS CLOTHING	205.96
11/03/2025	COM	91188	MISC	DENISE KIZY	250.00
11/03/2025	COM	91189	52025	DETROIT SALT COMPANY	3,644.97
11/03/2025	COM	91190	60053	DINGES FIRE COMPANY	9,320.00
11/03/2025	COM	91191	61334	DTE ELECTRIC COMPANY	6,520.16
11/03/2025	COM	91192	60189	EGL	7,481.85
11/03/2025	COM	91193	31830	ENTERPRISE COMPUTER	7,671.00
11/03/2025	COM	91194	58795	G&M ENTERPRISES, LTD.	3,482.00
11/03/2025	COM	91195	53489	GREAT AMERICA FINANCIAL SVCS.	669.27
11/03/2025	COM	91196	60206	GREAT LAKES WATER AUTHORITY	1,093.36
11/03/2025	COM	91197	53583	GUARDIAN	9,910.26
11/03/2025	COM	91198	31202	HOME DEPOT CREDIT SERVICES	7,752.84
11/03/2025	COM	91199	59010	HUNT SIGN COMPANY	422.00
11/03/2025	COM	91200	39070	J.H. HART URBAN FORESTRY	10,516.51
11/03/2025	COM	91201	59423	JAMES HEALY	80.00
11/03/2025	COM	91202	59324	JCR SUPPLY, INC.	474.55
11/03/2025	COM	91203	61115	JEFFREY JOHNSON	250.00
11/03/2025	COM	91204	61194	JENNIEFR RUPRICH	271.06
11/03/2025	COM	91205	59582	JOHNSON THERMOL-TEMP INC.	250.00
11/03/2025	COM	91206	61321	LUIGI FERDINANDI & SON CEMENT	1,383.06
11/03/2025	COM	91207	60620	MACQUEEN EMERGENCY	4,254.52
11/03/2025	COM	91208	51135	MAJIK GRAPHICS INC.	95.00
11/03/2025	COM	91209	60403	MICHIGAN SHOOTING CENTERS, INC.	2,000.00
11/03/2025	COM	91210	59330	MIKE SAVOIE CHEVROLET	108.40
11/03/2025	COM	91211	60008	MOTORWERKS	2,989.99
11/03/2025	COM	91212	61043	MSTS RECEIVABLES LLC	127.47
11/03/2025	COM	91213	51182	NELSON BROTHERS SEWER &	155.00
11/03/2025	COM	91214	51799	NYE UNIFORM EAST	2,545.00
11/03/2025	COM	91215	51540	O'REILLY AUTO PARTS	85.91
11/03/2025	COM	91216	51039	OAKLAND COUNTY	1,267.50
11/03/2025	COM	91217	60126	PIPELINE MANAGEMENT CO., INC.	313.71
11/03/2025	COM	91218	58625	RELIANT FIRE APPARATUS OF MI	1,641.94
11/03/2025	COM	91219	16500	S.O.C.R.R.A	37,121.20
11/03/2025	COM	91220	59282	SAFEBUILT INC.	2,325.00
11/03/2025	COM	91221	61329	SAVATREE	8,924.00
11/03/2025	COM	91222	60366	STATE OF MICHIGAN	144,426.56
11/03/2025	COM	91223	61105	SUSIE STEC	667.93
11/03/2025	COM	91224	31043	THOMAS J RYAN PC.	8,562.50
11/03/2025	COM	91225	61323	TRAFFIC SAFETY STORE	70.00
11/03/2025	COM	91226	61335	TRUCK & TRAILER SPECIALTIES, INC.	1,677.50
11/03/2025	COM	91227	60581	UNITED RENTALS (NORTH AMERICA), INC	3,625.00
11/03/2025	COM	91228	38205	VERIZON WIRELESS MESSAGING	1,360.91
11/03/2025	COM	91229	53564	WEX BANK	4,797.43
11/03/2025	COM	91230	61332	WILLIAM & CARISSA ORTMAN	41.06
11/03/2025	COM	91231	53572	WOW! BUSINESS	1,166.92
11/03/2025	COM	91232	20900	ZIP ETC INC	266.00

COM TOTALS:

Total of 59 Checks:	587,174.17
Less 0 Void Checks:	0.00
Total of 59 Disbursements:	587,174.17



Agenda Item Summary

To: Village Council
From: Susie Stec, Planning & Economic Development Director
Re: ***Business Agenda - 1. Consider Special Land Use Request - Beverly Hills Academy***
Date: November 4, 2025 - [Click to View Agenda](#)

Summary:

On June 25, 2025, the Planning Commission held a public hearing and considered special land use and site plan approval for the construction of an accessory building (storage shed) to be located at Beverly Hills Academy (32605 Bellvine Trail). Private schools and their related accessory uses and structures are listed as special land uses in the R-A District per [Section 46-269 \(c\)](#). The Ordinance also states that each use or structure is subject to a separate special use review. During the public hearing on June 25th, no members of the public wished to comment on the project; however, one written comment was submitted for consideration and a few inquiries were made regarding the project scope. Ultimately, the Planning Commission tabled consideration of the project to allow the applicant to further refine their design.

Revised plans were considered by the Planning Commission on August 27th, and approved the site plan with the conditions that masonry wainscoting is required on all four sides of the building for durability and protection, and the applicant address any comments from the Department of Public Services, Fire Marshal, and Village Engineering consultants. The Planning Commission also recommended approval of the Special Land Use request to Village Council. The motion passed with a 3–2 vote.

Attached are the revised plans, August 27, 2025 minutes, SafeBuilt review report, and resolution approving the request special land use. Upon special land use approval by Village Council, the applicant will move into the permitting process which includes review by the Department of Public Services, Fire Marshal, and Village Engineering consultants.

Recommendation:

Consider adopting the proposed resolution granting special land use approval to Beverly Hills Academy for the construction of a storage shed.

Attachments:

1. 2025 10 29 BHA SPU Permit Resolution
2. 2025 10 23 BHA Site Plan_revised_for Council (EXHIBIT A of Resolution)

3. BH Academy Special Land Use and Site Plan Review Safebuilt Letter
4. PC Minutes- July 27 2025

VILLAGE OF BEVERLY HILLS
**RESOLUTION APPROVING A SPECIAL LAND USE PERMIT FOR AN ACCESSORY
STRUCTURE AT 32605 BELLVINE TRAIL**

WHEREAS, Beverly Hills Academy (“**Owner**”) is the recorded owner of that certain parcel of real property commonly known as 32605 Bellvine Trail (“**Property**”); and,

WHEREAS, the Property is a private school situated within the R-A District; and,

WHEREAS, the Owner seeks to construct an accessory structure on the Property; and,

WHEREAS, pursuant to Section 46-269 of the Beverly Hills Zoning Ordinance (“**Zoning Ordinance**”), as amended, an accessory building for a private school is permitted only upon the issuance of a special land use permit in accordance with Section 46-188 of the Zoning Ordinance and approval of a site plan in accordance with Section 46-187 of the Zoning Ordinance; and,

WHEREAS, the Owner filed an application (“**Application**”) with the Village for a special land use permit to allow the construction of an accessory structure on the property (“**Special Land Use Permit**”); and,

WHEREAS, pursuant to notice duly and timely published in the *Birmingham-Bloomfield Eagle* the Planning Commission held a public hearing on June 25, 2025, regarding the proposed special land use and site plan approval request; and,

WHEREAS, on August 27, 2025, the Planning Commission: (1) determined the requirements for the site plan approval were met and granted approval of the site plan pursuant to Section 46-187 of the Zoning Ordinance, (2) determined the requirements for the special land use permit were met, and (3) voted 3 – 2 to recommend to the Village Council approval of the special land use permit based on the testimony and evidence presented; and,

WHEREAS, based on such findings, the Village Council has reviewed and considered the findings and recommendations of the Planning Commission; and,

WHEREAS, the Village Council has determined that it is in the best interest of the Village to grant the Application for the requested Special Land Use Permit to permit the construction of an accessory structure on the Property.

NOW THEREFORE BE IT RESOLVED,

SECTION 1: RECITALS. The foregoing recitals are hereby incorporated into this Section 1 as the findings of the Beverly Hills Village Council, as if fully set forth herein.

SECTION 2: SPECIAL USE PERMIT. Subject to, and contingent upon, the terms and conditions set forth in Section 3 of this Resolution, the Application for a Special Land Use Permit to allow construction of an accessory structure at 32605 Bellvine Trail, in accordance with Section 46-188 of the Zoning Ordinance and the approved site plan is hereby approved

SECTION 3: CONDITIONS. The Special Land Use Permit granted by Section 2 of this Resolution is subject to and contingent upon, compliance by Owner with the following conditions:

- A. **Compliance with Regulations.** The development, use and maintenance of the Property must comply at all times with all applicable Village codes and ordinances, as they have been or may be amended over time, including, without limitation, the Zoning Ordinance.
- B. **Compliance with Plans.** The development, use, and maintenance of the accessory building on the Property must be in strict accordance with the plans submitted by Owner, consisting of 17 sheets, a copy of which is attached to and, by reference, made a part of this Resolution as **Exhibit A**, except for minor changes and site work approved by the Building Official (within his respective permitting authority) in accordance with all applicable Village codes, ordinances, and standards.

SECTION 4: AMENDMENT OF SPECIAL LAND USE PERMIT. Any amendments to the Special Land Use Permit that may be requested by Owner may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance.

RESOLUTION DECLARED ADOPTED

CERTIFICATION

I, Carissa Brown, being duly appointed and qualified Clerk of the Village of Beverly Hills, Oakland County, Michigan, do hereby certify and declare that the foregoing is a true and correct copy of a Resolution adopted by the Village Council of the Village of Beverly Hills at a regular meeting thereof held on _____, 2025.

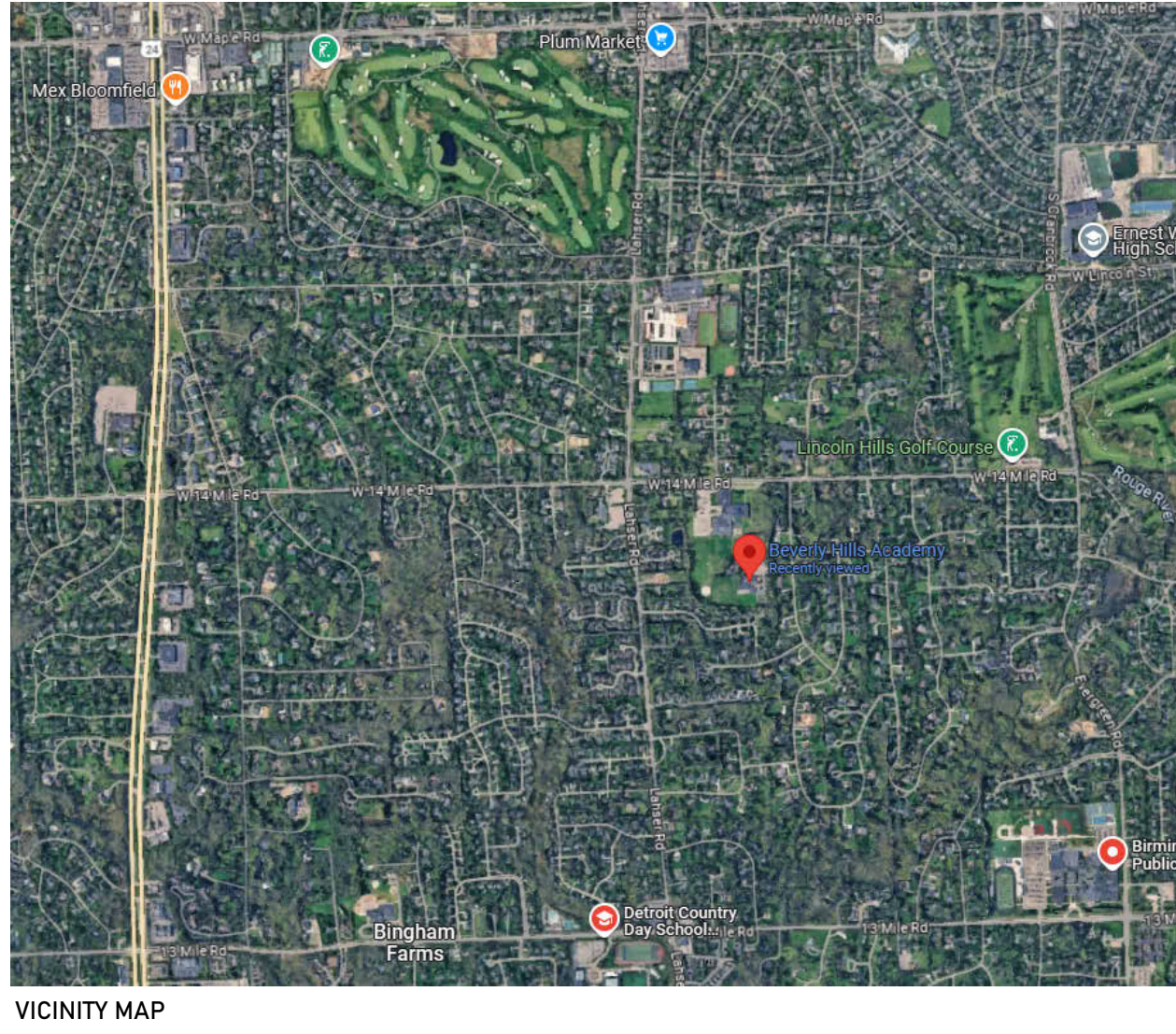
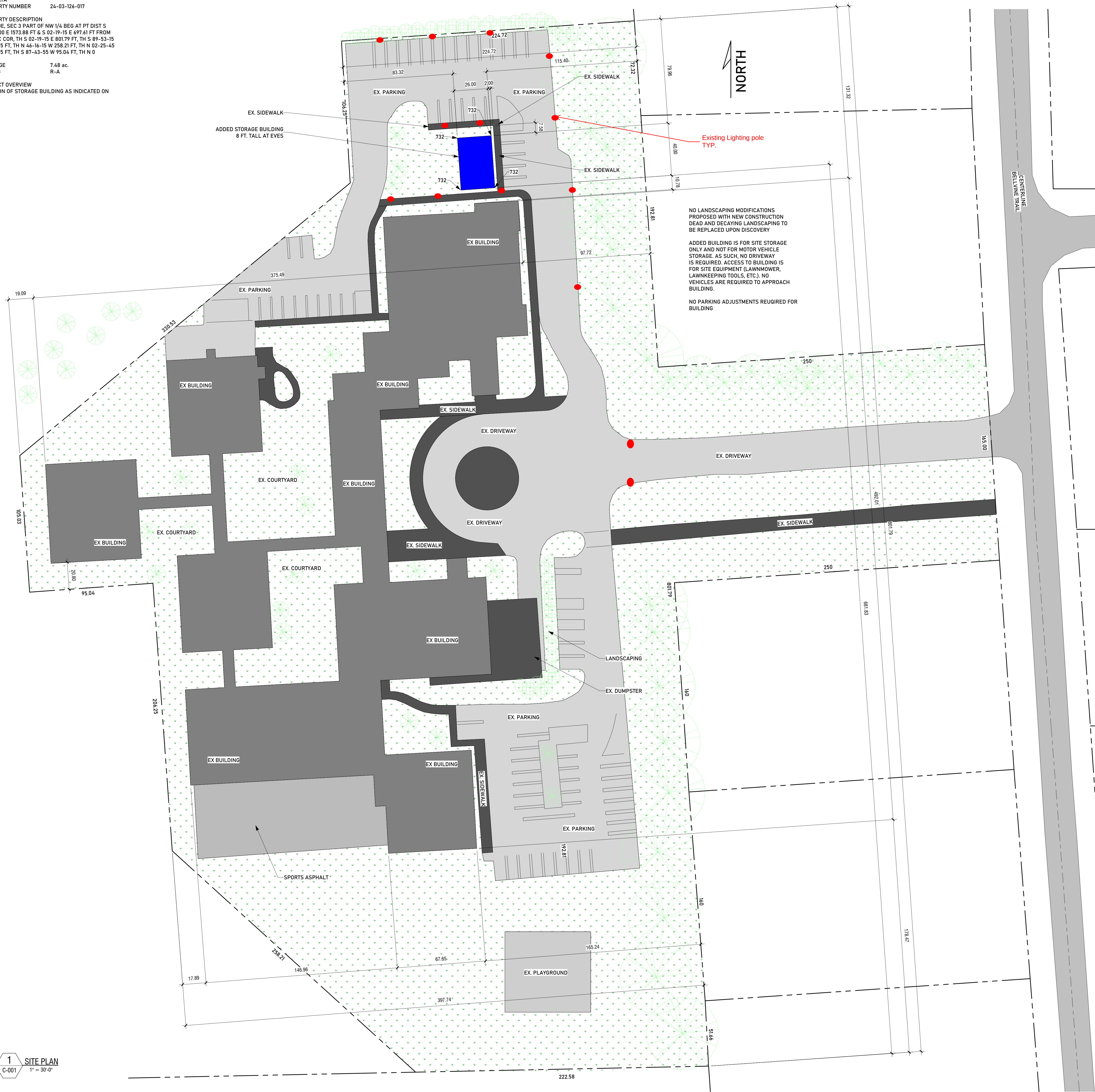
Carissa Brown, Village Clerk

SITE DATA
PROPERTY NUMBER 24-03-126-017

PROPERTY DESCRIPTION
TIN, RIDE, SEC 3 PART OF NW 1/4 BEG AT PT DIST S
89-24-00 E 1572.88 FT & S 02-19-15 E 497.61 FT FROM
NW SEC COR, TH S 02-19-15 E 801.79 FT, TH S 89-53-15
W 220.95 FT, TH N 46-16-15 W 258.21 FT, TH N 02-25-45
W 206.25 FT, TH S 87-43-55 W 95.04 FT, TH N 0

ACREAGE 7.48 ac.
ZONING R-A

PROJECT OVERVIEW
ADDITION OF STORAGE BUILDING AS INDICATED ON
PLAN



1 SITE PLAN
C-001 1" = 30'-0"

SJW
Engineering L.L.C.

7325 TRIANGLE DR
STERLING HEIGHTS, MI 48314
www.sjwengineering.com
+1 (810) 292-9258
steven@sjwengineering.com

REVISIONS
DATE
3-15-2025
REVISION
PERMITS



PROJECT DATA
BEVERLY HILLS ACADEMY
32605 Bellvine Trail #2652
Beverly Hills, MI 48025

PROJECT NO. 2025 0168 MI
DRAWN S. WHITTICAN PHD PE
CHECKED S. WHITTICAN PHD PE
SHEET SIZE E

CLIENT DATA
LMS Construction
6698 Orchard Lake Rd.
West Bloomfield, MI 48322
248-344-4772
MM@LMSCONSTRUCTION.INFO

SHEET NO.
C-001
SITE PLAN

ELIZABETH BASTIAN

32605 BELLVINE TRAIL, BEVERLY HILLS, MI 48025

(OAKLAND COUNTY, MI)

26' X 40' X 8'

SCOPE OF PLANS:

1. TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
2. DOES NOT PROVIDE ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

GENERAL STRUCTURAL DESIGN NOTES

1. THIS STRUCTURE IS DESIGNED FOR NON-HABITABLE USE. NO PERSONS ARE ALLOWED TO LIVE IN THIS BUILDING OR USE IT AS A LIVING SPACE. ONLY INCIDENTAL OCCUPANCY IS PERMITTED.
2. ALL WELDS ARE TO BE SHOP WELDS. FIELD WELDING IS NOT PERMITTED NOR REQUIRED. WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
3. LIGHT GAUGE TUBING SHALL BE EITHER (OR EQUAL): ASTM A513-1035 (FY = 50 KSI, FU = 66 KSI) OR ASTM A500 GRADE C (FY = 50 KSI, FU = 65 KSI). ALL CHANNELS SHALL BE A653 (HSLA) GRADE 50 STEEL (FY = 50 KSI, FU = 65 KSI) OR EQUAL. HOT ROLLED STEEL SHAPES (FY = 36 KSI, BASE ANGLES) EXPOSED TO THE ELEMENTS, SHALL HAVE ONE COAT OF RUST PROOF PRIMER FOLLOWED BY TWO COATS OF PAINT.
4. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS PER ESR-2196 U.N.O. REF. TO DESIGN NOTES ON SHEET 2 FOR SHEATHING FASTENER TYPE.
5. ADEQUATE BRACING DURING ALL STAGES OF CONSTRUCTION IS REQUIRED. STRUCTURE AND FOUNDATION ARE DESIGNED FOR COMPLETED CONDITION ONLY. ADDITIONAL SUPPORT TO MAINTAIN STABILITY IS REQUIRED IN CASE OF ROOF ACCESS FOR MAINTENANCE.
6. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

STRUCTURAL DESIGN CRITERIA

PREVAILING CODE:	MBC 2021
OCCUPANCY / USE GROUP:	U (CARPORT / SHED)
CONSTRUCTION TYPE:	V B (ANY MAT'L - IBC 602.5)
RISK CATEGORY:	I
BUILDING FOOTAGE:	1040 SQ.FT
1. DEAD LOAD (D) COLLATERAL LOAD	2.0 PSF
2. ROOF LIVE LOAD (Lr)	Lr = 20 PSF
3. SNOW LOAD (S) GROUND SNOW LOAD IMPORTANCE FACTOR THERMAL FACTOR EXPOSURE FACTOR ROOF SLOPE FACTOR FLAT ROOF SNOW LOAD SLOPED ROOF SNOW LOAD DESIGN SNOW LOAD	Pg = 25 PSF Is = 0.80 Ct = 1.2 Ce = 1.0 Cs = 1.0 Pf = 17 PSF Ps = 17 PSF S = 17 PSF
4. WIND LOAD (W) DESIGN WIND SPEED EXPOSURE	V = 105 MPH C
5. SEISMIC LOAD (E) Ss / S1 SDs / SD1 DESIGN CATEGORY SITE CLASS IMPORTANCE FACTOR	0.089/0.046 0.095/0.073 B D (DEFAULT) Ie = 1.00

STRUCTURAL DRAWING INDEX

- 1 COVER SHEET
- 2 ELEVATIONS
- 3A FOUNDATION PLAN & NOTES
- 3B FOUNDATION DETAILS & NOTES
- 4 COLUMN LAYOUT PLAN & DETAILS
- 5 FRAME SECTION & DETAILS
- 6A SIDE WALL FRAMING
- 6B SIDE WALL FRAMING DETAILS
- 7A END WALL FRAMING & DETAILS
- 7B..... END WALL FRAMING DETAILS

SPECIAL INSPECTIONS

NO SPECIAL INSPECTIONS ARE REQUIRED FOR THIS STRUCTURE, AS IT MEETS THE EXCEPTIONS OF SECTION 1704 PER MBC 2021, UNLESS EXPLICITLY REQUIRED BY THE BUILDING OFFICIAL.

REVISIONS LIST		
MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT	OCT 1 2025

2.25128.0

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FOR QUESTIONS, MODIFICATIONS, REVISIONS OR CORRECTIONS NEEDED TO PLANS, PLEASE CONTACT THE METAL BUILDINGS MANUFACTURER LISTED ON PLANS. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDINGS MANUFACTURER TO MAKE ANY CHANGES TO PLANS.

SHEET NO.: 1 OF 7

PROJECT NO: 451-25-1990

DRAWN BY: BG

DATE: 10/01/2025

COVER SHEET

LOCATION: 32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

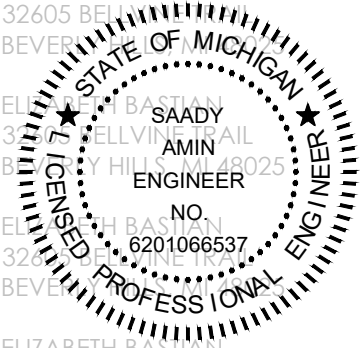
PROJECT TITLE: ELIZABETH BASTIAN

METAL BUILDING MANUFACTURER



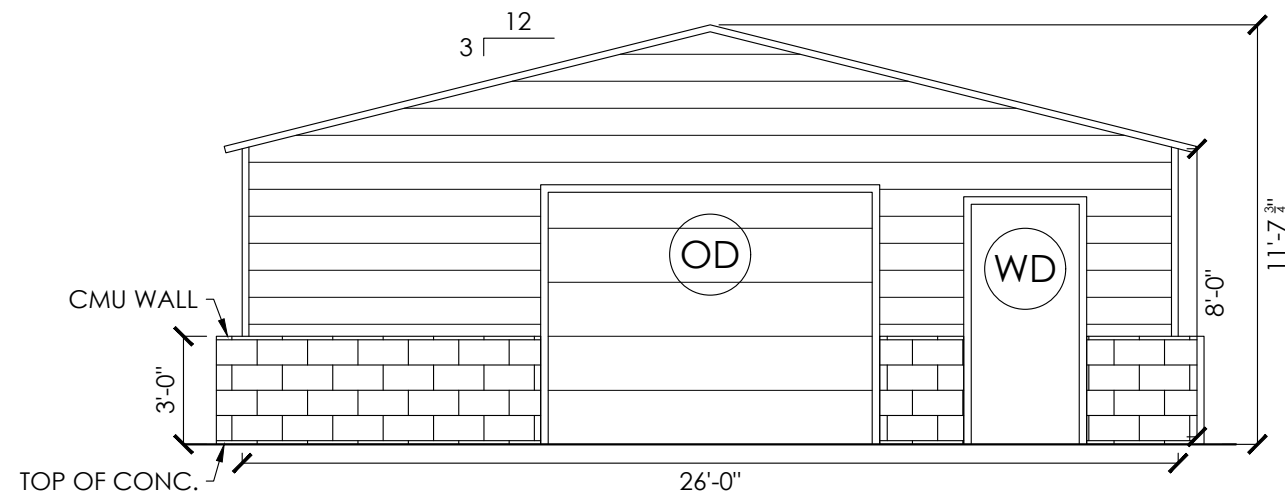
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.
Checked By: SAN

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025



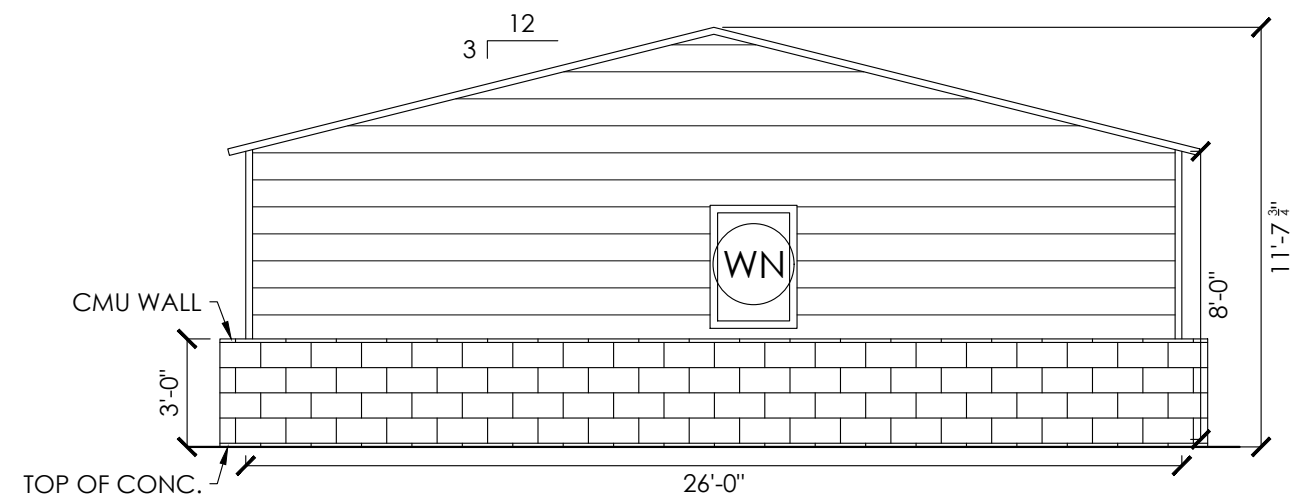
ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

EXPIRES: 12/8/2026
SIGNED : OCT 1 2025



FRONT END WALL ELEVATION

SCALE: 3/16" : 1'



BACK END WALL ELEVATION

SCALE: 3/16" : 1'

DESIGN NOTES

1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL EXT **ROOF** SHEATHING SHALL BE:
CLASS A RATED 29GA. **3/4" RIB HT** - GALV. OR PAINTED STEEL (FY=80 KSI) OR EQ.
(REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
4. ALL EXT **WALL** SHEATHING SHALL BE:
CLASS A RATED 29GA. **3/4" RIB HT** - GALV. OR PAINTED STEEL (FY=80 KSI) OR EQ.
(REF. SHT 5 FOR PROFILE AND FASTENER SCHD.)
5. **SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS W/ BONDED NEOPRENE WASHER PER ESR 2196.**

LEGEND

(WN) WINDOWS (REF WINDOW MFG)

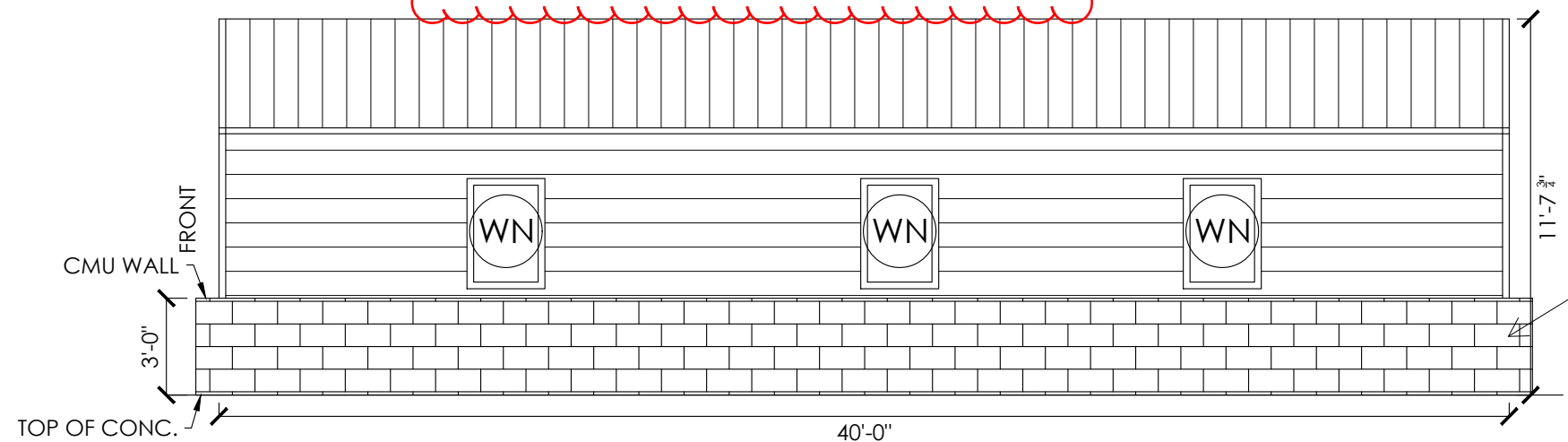
(WD) WALK-IN DOORS (REF DOOR MFG)

OD OVER HEAD / ROLL-UP DOOR
(REF DOOR MFG)

NOTE 1: ANY DOOR OR WINDOW DESIGN & CONNECTION / ATTACHMENT INFORMATION, IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

NOTE 2: LOC OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).

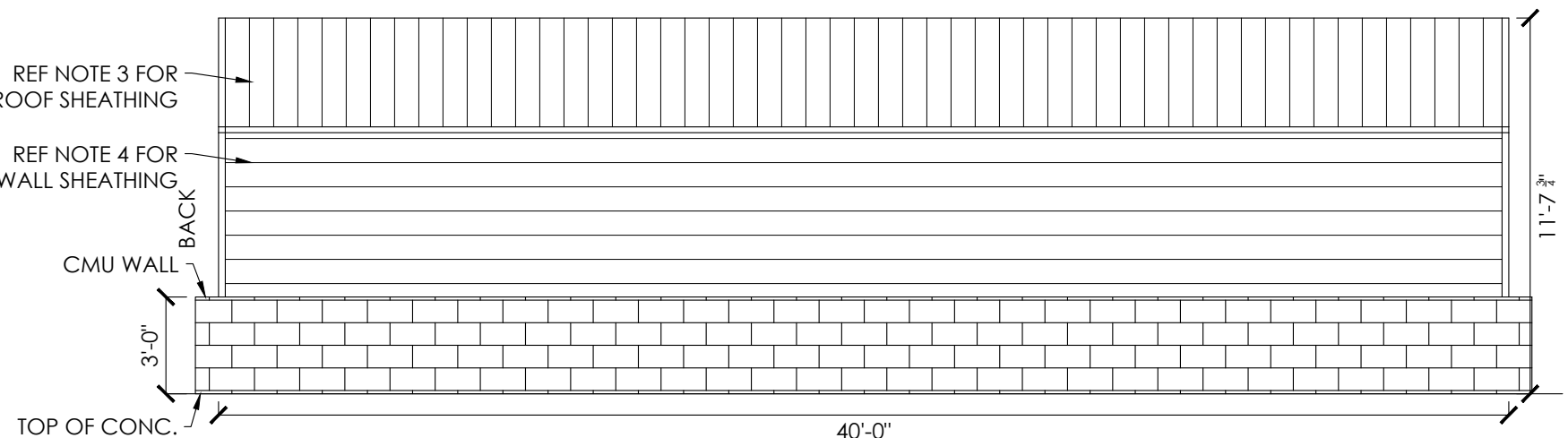
Note: - Roof & Metal Wainscoting to be Burgundy
Color- Taupe is the main color of the building.



RIGHT SIDE WALL ELEVATION

SCALE: 3/16" : 1'

Merlot Color Burnished
Block - TYP.



LEFT SIDE WALL ELEVATION

SCALE: 3/16" : 1'

SHEET. NO:	
2 OF 7	
PROJECT NO:	
451-25-1990	
DRAWN BY:	DATE:
BG	10/01/2025

ELEVATIONS

SHEET TITLE:

PROJECT TITLE:	LOCATION:
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32003 BEECHMINE TRAIL
BEVERLY HILLS, MI 48025

ELIZABETH BASTIAN

METAL BUILDING
MANUFACTURER



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Checked By: SAN

ELIZABETH BASTIAN
32605 BELLVUE TRAIL
BEVERLY HILLS, CA 90210-1001
OFFICE OF MICHAEL

SAADY
AMIN
ENGINEER

NO. 6201066537

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

EXPIRES: 12/8/2026

SIGNED : OCT 1 2025

SHEET TITLE:

FOUNDATION PLAN & NOTES

LOCATION:

32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

PROJECT TITLE:

ELIZABETH BASTIAN

METAL BUILDING
MANUFACTURER



WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.
Checked By: SAN

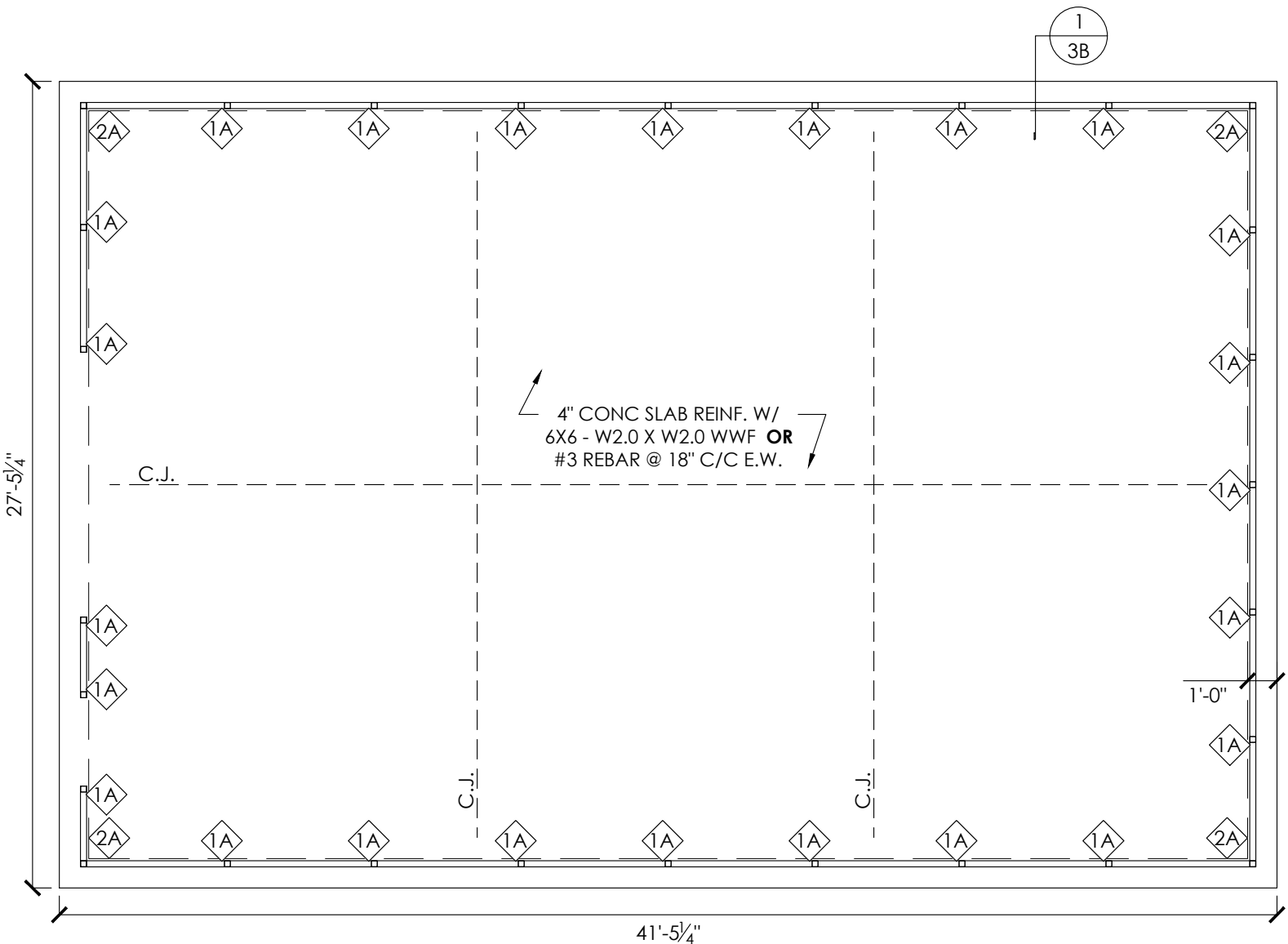
ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

EXPIRES: 12/8/2026
SIGNED : OCT 1 2025



FOUNDATION PLAN

SCALE: 3/16" : 1'

CONCRETE ANCHORAGE	
1A	(1) 1/2"Ø X 7" LG. POWER-STUD+ SD1 EXPANSION ANCHOR (PER ESR 2818)
2A	(2) 1/2"Ø X 7" LG. POWER-STUD+ SD1 EXPANSION ANCHOR (PER ESR 2818)

FOUNDATION NOTES:

- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- CONC ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN WITH A MINIMUM OF (1) ANCHOR PER POST.
- MIN. FOOTING DEPTH NEEDED TO RESIST BUILDING LOADS IS INDICATED ON FOUNDATION DETAILS. HOWEVER, A GREATER FOOTER DEPTH MAYBE REQUIRED TO MEET THE LOCAL FROST LINE DEPTH PER CODE.
- DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS FOR MODERATE WEATHERING POTENTIAL. SPECIAL INSPECTION OF CONCRETE IS NOT REQUIRED AS STRUCTURAL DESIGN OF FOUNDATIONS IS BASED ON A MIN STRENGTH OF 2500 PSI @ 28 DAYS.

SHEET TITLE:

COLUMN LAYOUT PLAN & DETAILS

LOCATION:

32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

PROJECT TITLE:

ELIZABETH BASTIAN

METAL BUILDING
MANUFACTURER



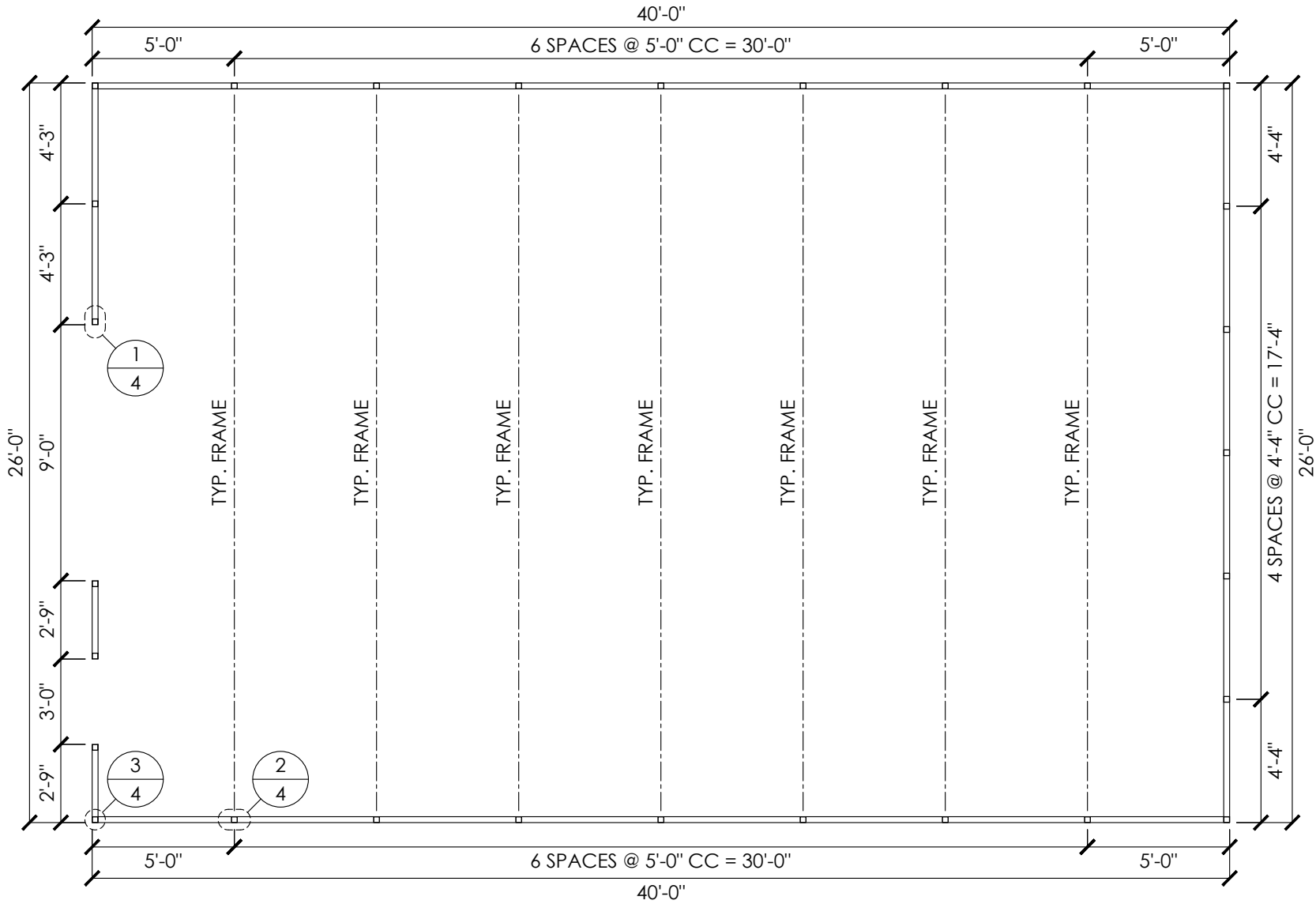
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.
Checked By: SAN

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025



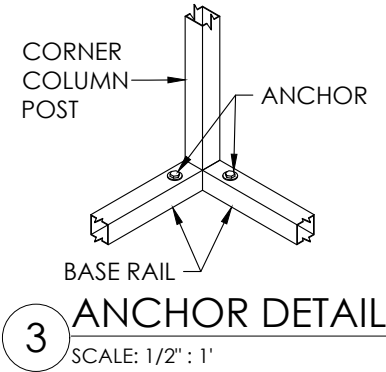
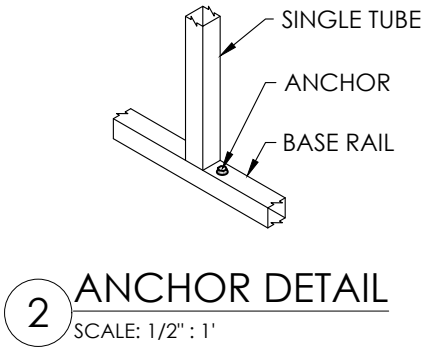
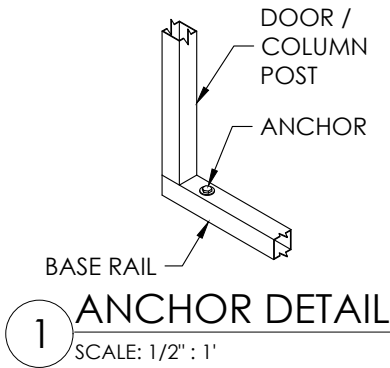
ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

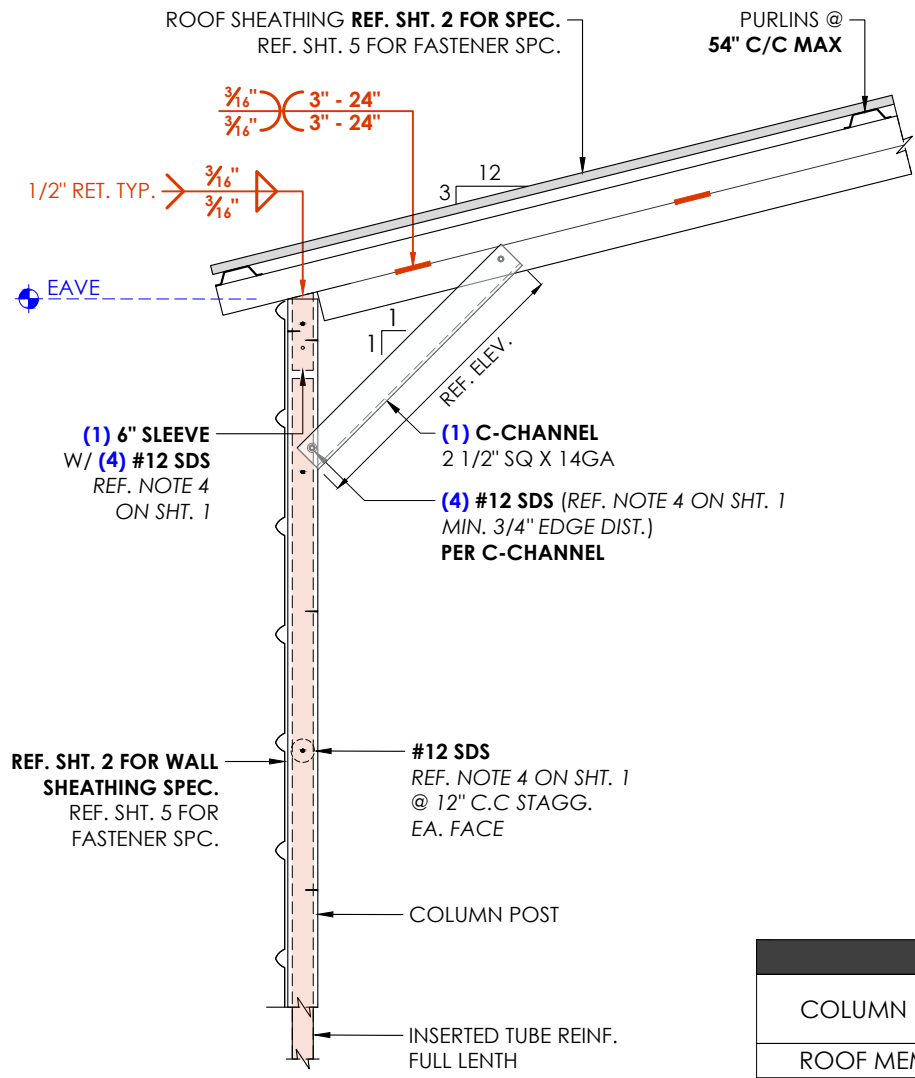
EXPIRES: 12/8/2026
SIGNED : OCT 1 2025



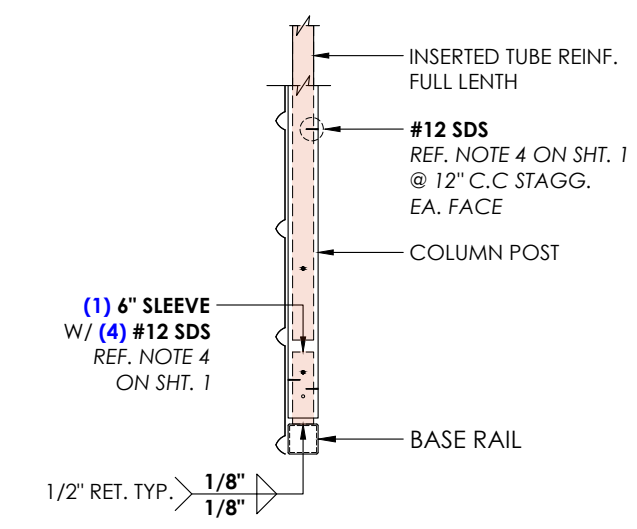
COLUMN LAYOUT PLAN
SCALE: 3/16" : 1'

NOTE:
SEE SHEET 3A / 3B FOR ANCHOR TYPE
SEE SHEET 5 FOR FRAME SECTION AND DETAILS

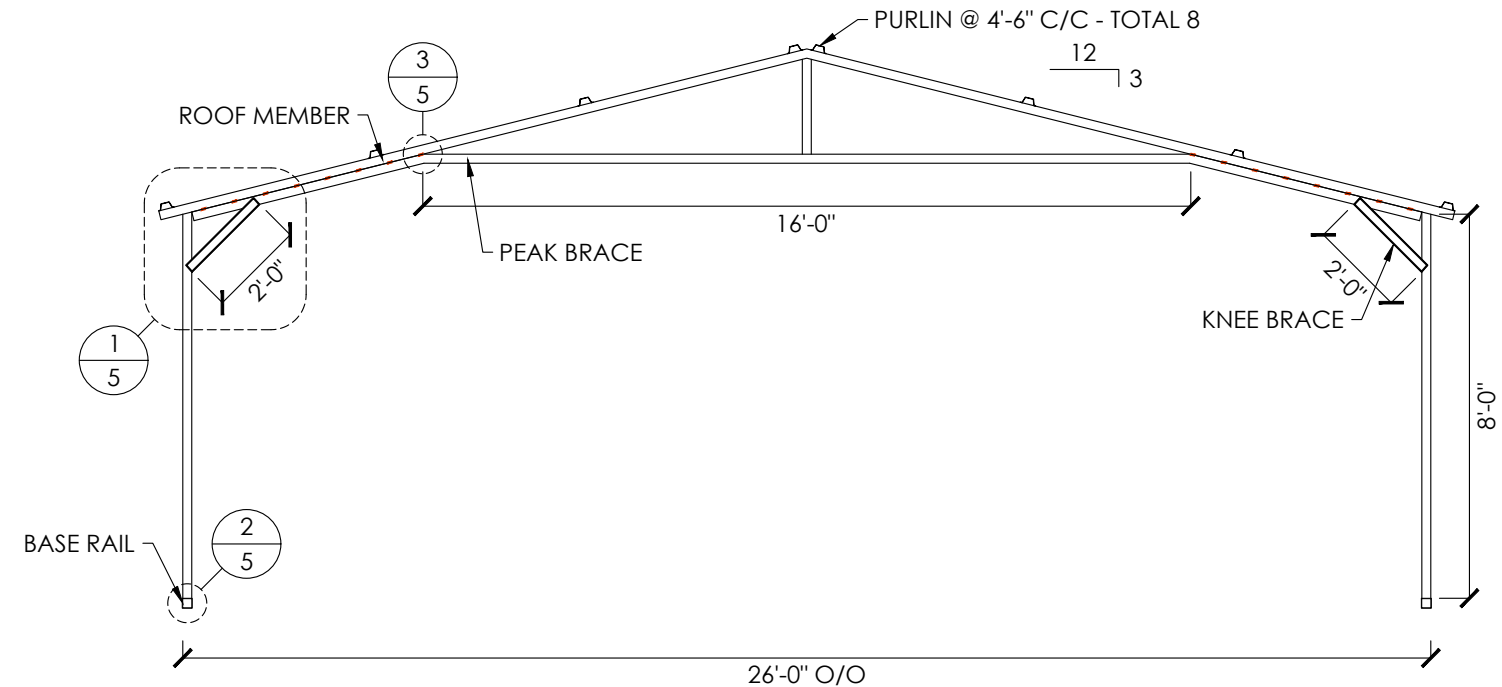




1 FRAME DETAIL
SCALE: 3/4" : 1'



2 BASE DETAIL
SCALE: 3/4" : 1'

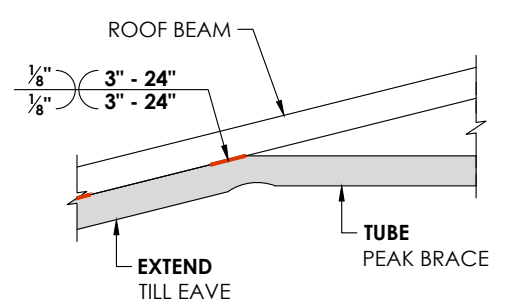


TYPICAL FRAME
SCALE: 1/4" : 1'

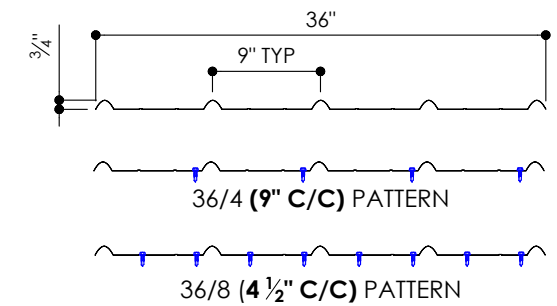
MEMBER PROPERTIES	
COLUMN POST	2 1/2" SQ. x 14GA TUBE W/ 2 1/4" SQ. X 12GA TUBE INSERT
ROOF MEMBER	2 1/4" SQ. X 12GA TUBE
BASE RAIL	2 1/4" SQ. X 12GA TUBE
PEAK BRACE	2 1/4" SQ. X 12GA TUBE
KNEE BRACE	2 1/2" X 14GA CHANNEL
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL

SHEATHING FASTENER SCHEDULE				
LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC	9" CC

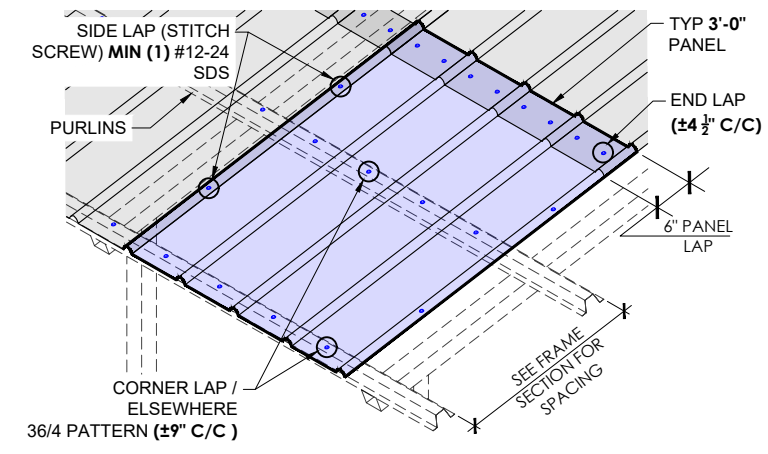
REF. DESIGN NOTE ON SHEET 2 FOR SHEATHING FASTENER TYPE.



3 PEAK BRACE DETAIL
SCALE: 3/4" : 1'



29GA. - 3/4" RIB - CORRUGATED SHEET
SCALE: 3/4" : 1'



SHEATHING FASTENER PATTERN
SCALE: 3/16" : 1'

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Checked By: SAN

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025
SAADY AMIN
ENGINEER
NO. 6201066537
EXPIRES: 12/8/2026
SIGNED : OCT 1 2025

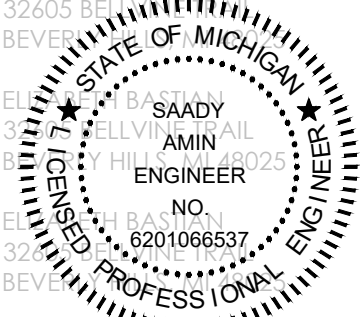
FRAME SECTION & DETAILS

LOCATION: 32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025
PROJECT TITLE: ELIZABETH BASTIAN



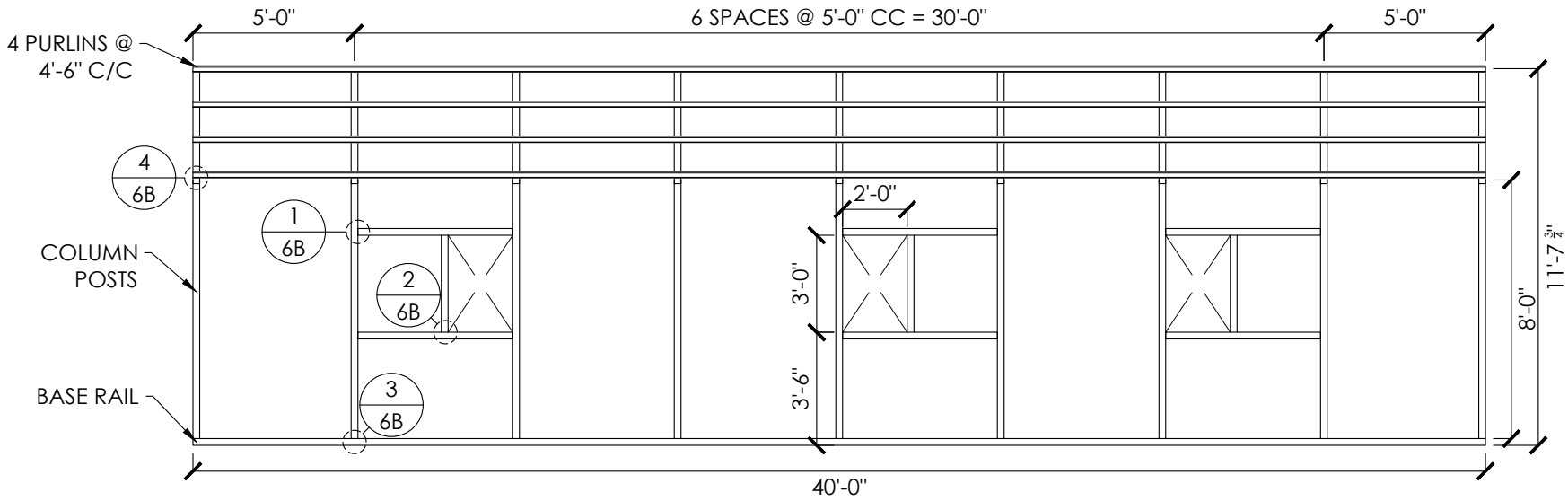
WARNING: Unauthorized copy or use of the seal below is considered forgery subject to legal action to the fullest extent of the law and/or fines.
Checked By: SAN

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

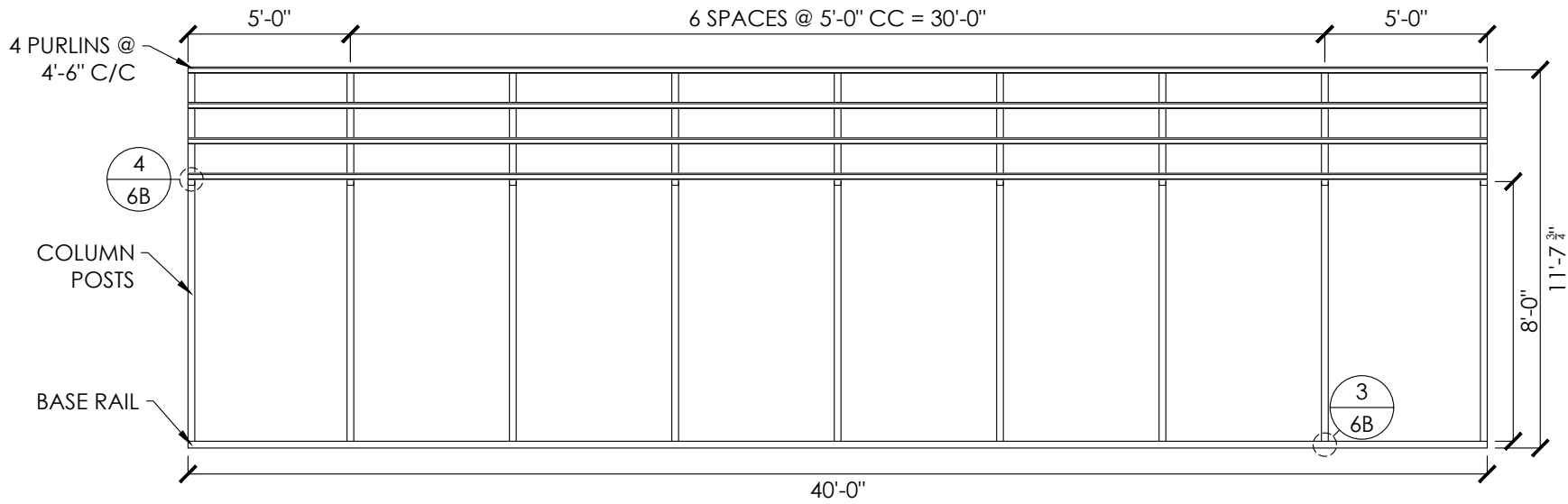


ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

EXPIRES: 12/8/2026
SIGNED : OCT 1 2025

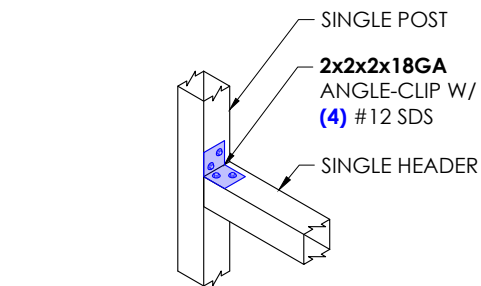


RIGHT SIDE WALL FRAMING
SCALE: 3/16" : 1'

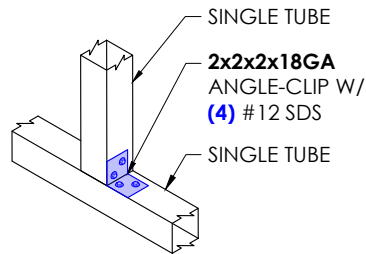


LEFT SIDE WALL FRAMING
SCALE: 3/16" : 1'

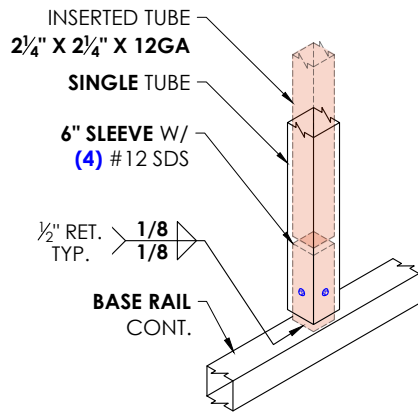
MEMBER PROPERTIES	
CORNER POST	2 1/4" SQ. X 12GA TUBE
SIDE WALL POST	2 1/2" SQ. x 14GA TUBE W/ 2 1/4" SQ. X 12GA TUBE INSERT
BASE RAIL	2 1/4" SQ. X 12GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
WINDOW POST	2 1/4" SQ. X 12GA TUBE



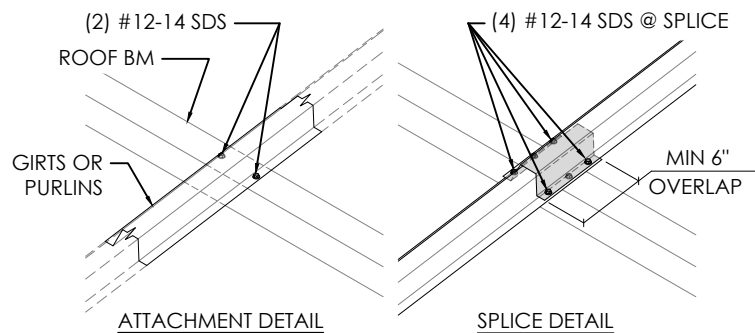
1 WINDOW DETAIL
SCALE: 3/4" : 1'



2 WINDOW DETAIL
SCALE: 3/4" : 1'



3 COLUMN-BASE DETAIL
SCALE: 3/4" : 1'



4 GIRT/PURLIN DETAIL
SCALE: 3/4" : 1'

SHEET. NO: 6B OF 7	
PROJECT NO: 451-25-1990	
DRAWN BY: BG	DATE: 10/01/2025

SHEET TITLE: SIDE WALL FRAMING DETAILS	LOCATION: 32605 BELLVINE TRAIL BEVERLY HILLS, MI 48025
	PROJECT TITLE: ELIZABETH BASTIAN

METAL BUILDING MANUFACTURER

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Checked By: SAN

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025
LICENSED PROFESSIONAL ENGINEER
NO. 6201066537

ELIZABETH BASTIAN
32605 BELLVINE TRAIL
BEVERLY HILLS, MI 48025

EXPIRES: 12/8/2026
SIGNED : OCT 1 2025



STATE OF MICHIGAN

LICENSED PROFESSIONAL ENGINEER

SAADY AMIN

NO. 6201066537

EXPIRES: 12/8/2026

SIGNED : OCT 1 2025



BURNISHED BENCHMARK™ 4X12X24



800.875.7500

BURNISHED MASONRY Architectural Guide

Burnished Recycled

Burnished Recycled Filled

Burnished

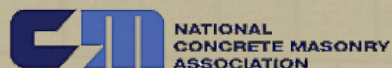
Burnished Filled

Benchmark Series™

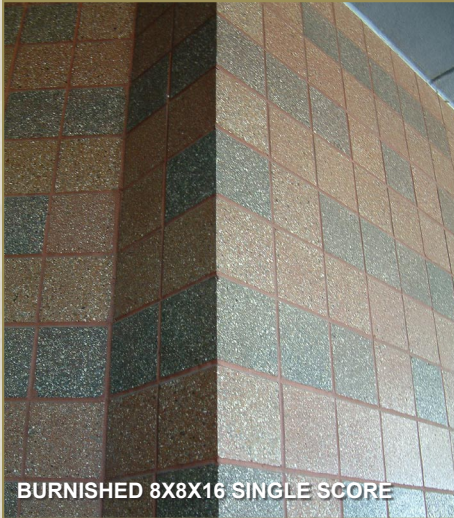
Column Block

Proudfoot Soundblox®

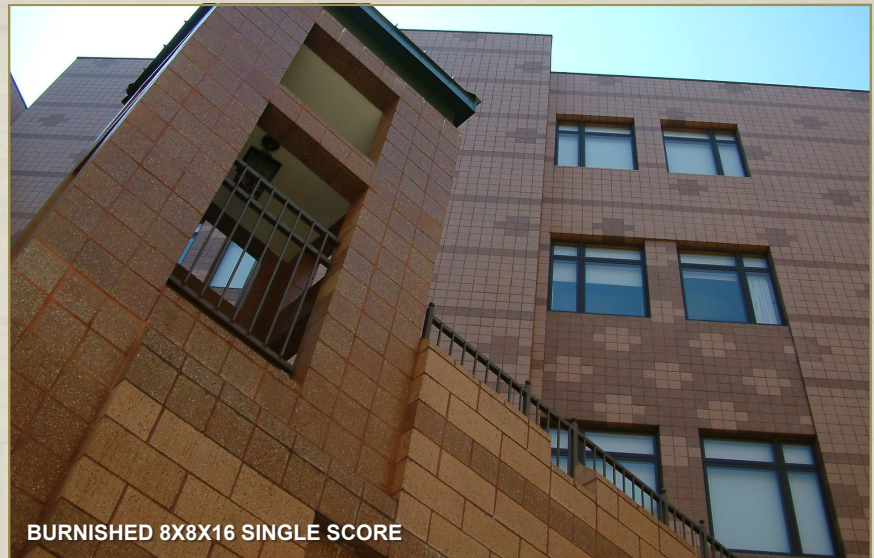
Plaza Stone



Burnished & Burnished Filled Masonry Units



Grand Blanc Cement Products has been manufacturing Burnished or “Ground-Faced” Masonry Units for over thirty years. Produced in a wide variety of sizes, shapes and colors, Burnished Units provide design flexibility when choosing the right products for any building. After grinding the face of the block to expose the variegated colors of the aggregate, a factory coat of acrylic or water-based sealant is applied to enhance the natural beauty of the surface. Burnished Masonry Units are also mold and mildew resistant making them ideal for both interior and exterior applications.



With integral color and exceptional structural integrity, Burnished Units perform well in today’s demanding architectural markets. Grand Blanc Cement Products continuous efforts to produce the highest-quality Burnished Masonry will provide both designers and customers alike, the confidence they require on every project. Many projects including schools, health care facilities, public buildings and sporting venues will enjoy the enduring beauty and benefits of Burnished Masonry.

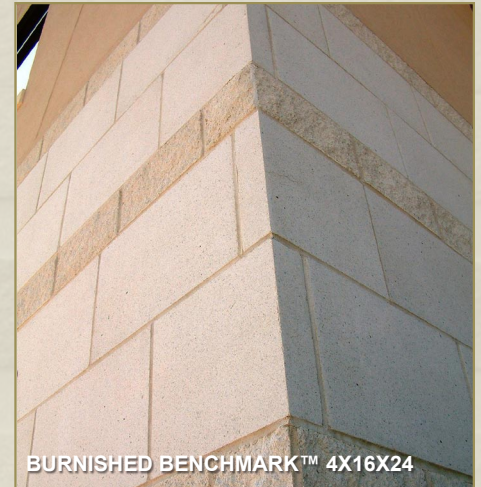
Grand Blanc Cement Products also manufactures Burnished Filled Masonry Units by exposing the aggregate’s range of color and “filling” the pores with a cementitious grout. A factory coat of acrylic or water-based sealant is then applied, creating a unique terrazzo-like finish and luster. Burnished Filled Units are graffiti resistant, extremely durable, and help projects maintain a new appearance years after completion.



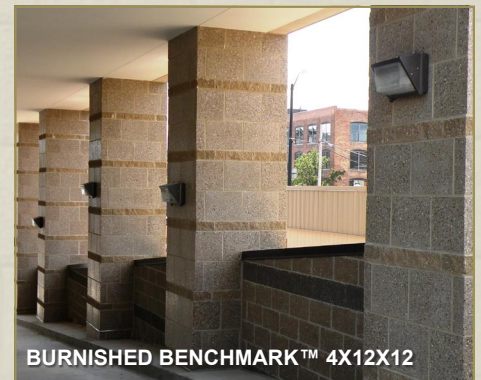
Burnished Benchmark™ Series & Burnished Column Block

OVER-SIZED MASONRY UNITS

Burnished Benchmark™ Series Masonry Units are oversized by design to provide clients with a dramatic monumental look combined with elegance and beauty. These units offer the same attractive appearance as other Burnished products but on a larger scale. Cost efficient as well as versatile, Burnished Benchmark Units also deliver value and longevity to any building project.



Burnished Benchmark™ Units are produced in a wide variety of sizes, shapes, and colors including 24" & 36" Column Block. The emphasis on the natural beauty of colored aggregates provide a luxurious and grand appearance with all Burnished Benchmark™ products.

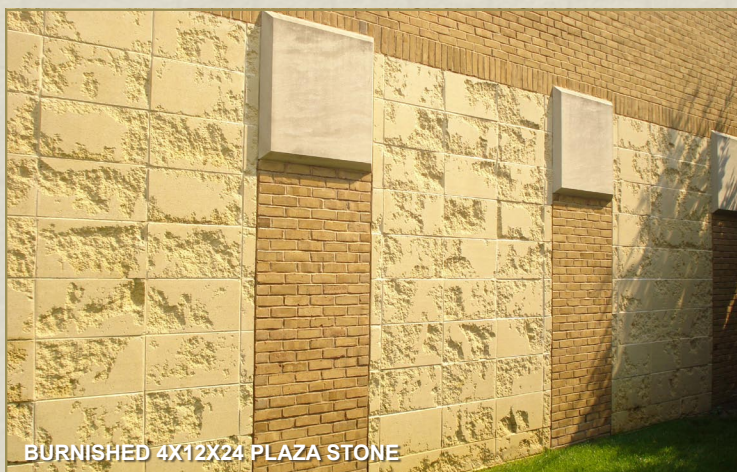


Burnished Soundblox®

Grand Blanc Cement Products offers a variety of solutions for noise reduction and absorption with Burnished Soundblox®. Manufactured in a wide range of colors, these attractive and versatile units perform very well in auditoriums, gymnasiums, classrooms, churches and recreational facilities. Burnished Soundblox® in-place cost is low by comparison to other acoustic material and will provide years of beauty and reliability.



Burnished Plaza Stone



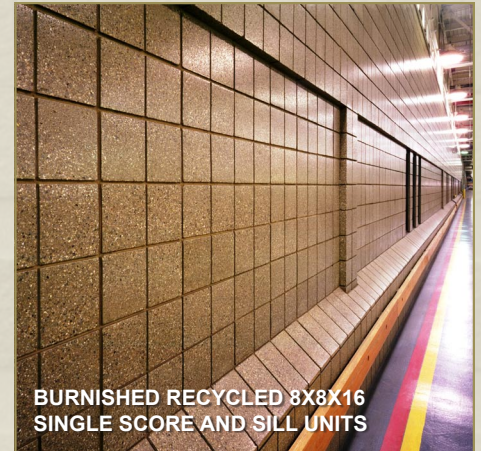
Burnished Plaza Stone adds a new dimension to the expanding Burnished Architectural Market. Delivering both a rugged and refined look, Burnished Plaza Stone has become a cornerstone for Grand Blanc Cement Products line of Burnished Masonry. Available in several shapes, sizes, and colors, these diverse units will furnish designers and their clients with a unique appearance on any building. An inspiring combination of Burnished and Spiltface texture is certain to enhance the natural beauty of concrete masonry in every Burnished Plaza Stone Project.

Burnished Recycled & Burnished Recycled Filled

Grand Blanc Cement Products commitment to environmental quality has never been stronger. We offer a variety of Burnished Masonry units manufactured with recycled content to meet or exceed the demands of LEED® point criteria. With many colors and shapes to choose from, the flexibility to design “Green” building projects is exceptional. Regionally extracted, processed and manufactured materials provide consumers with a minimum of 40% pre-consumer recycled content by weight.



BURNISHED RECYCLED 8X8X16

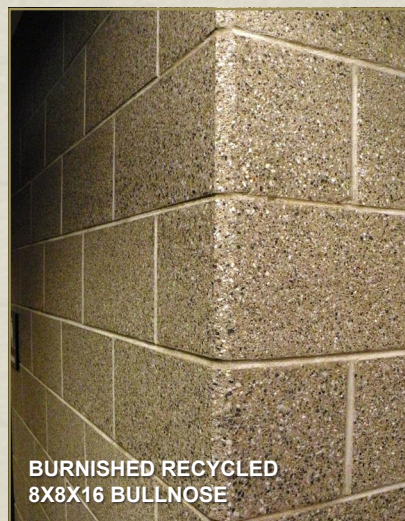


BURNISHED RECYCLED 8X8X16
SINGLE SCORE AND SILL UNITS

Burnished Recycled Masonry Units are manufactured with the same high quality standards that are found in Burnished Units. Interior and exterior applications are mold and mildew resistant and easy to clean. Factory applied acrylic or water-based sealants emphasize the natural beauty of the exposed aggregates color. Water-based sealants also provide LEED® points by emitting low VOC's and reducing air-born contaminants.



BURNISHED RECYCLED
8X4X16 AND 8X8X16 SINGLE SCORE



BURNISHED RECYCLED
8X8X16 BULLNOSE

Burnished Recycled Filled Units offer sustainable solutions for years of reliability and unmatched beauty. By exposing the variegated colors of the aggregate and then “filling” the pores with a cementitious grout, a unique terrazzo-like finish is produced. Providing unparalleled quality and durability, Burnished Recycled Filled Units also offer high thermal mass qualities by reducing heating and cooling costs which also benefits the environment.



BURNISHED RECYCLED FILLED 8X8X16



BURNISHED COLOR SELECTION



Anastasia



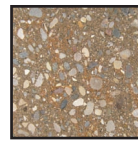
Aswan



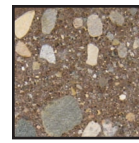
Bedrock



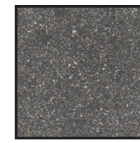
Bellagio



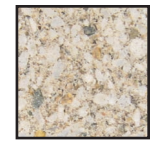
BHA Blend



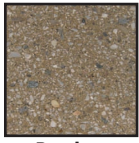
Blackhills



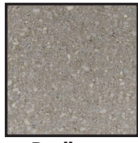
Boardman



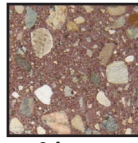
Bone



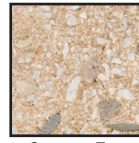
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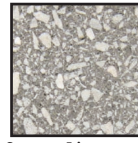
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Cabernet



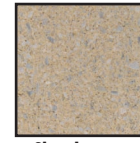
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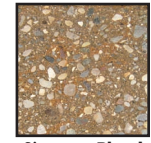
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Charcoal



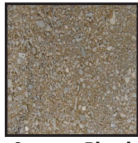
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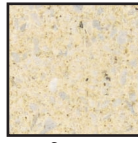
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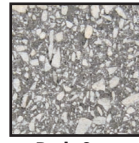
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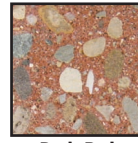
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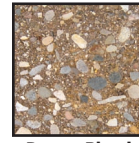
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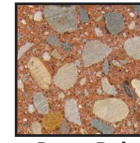
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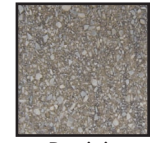
Dark Red



Desert Blend



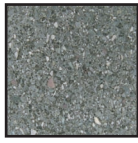
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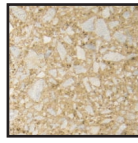
Dominic



Earthstone



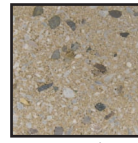
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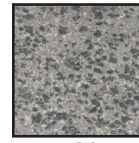
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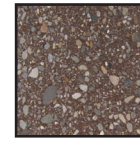
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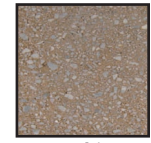
Forensic



Frankfort



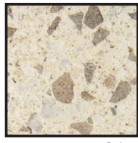
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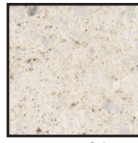
Gothic



Grandville



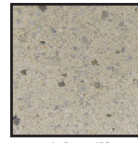
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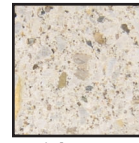
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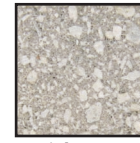
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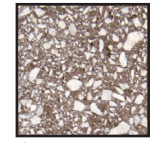
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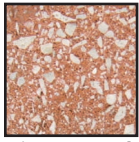
Light Bone



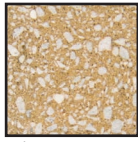
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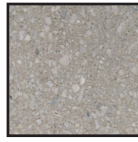
Limestone Brown



Limestone Red



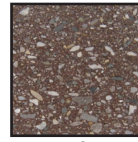
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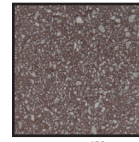
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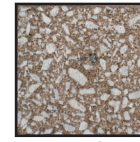
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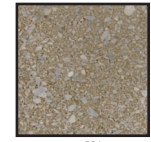
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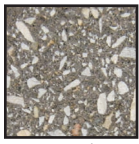
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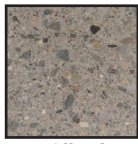
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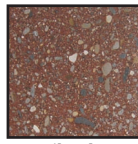
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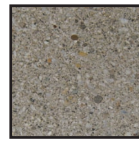
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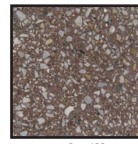
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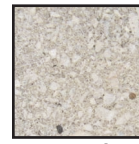
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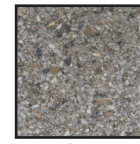
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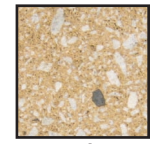
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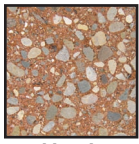
Natural
Limestone



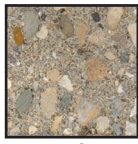
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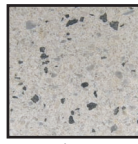
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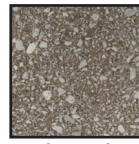
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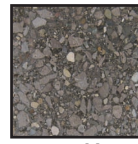
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Pinto



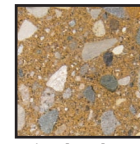
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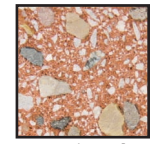
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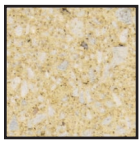
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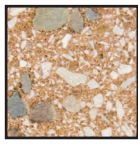
Riverbend Tan



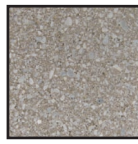
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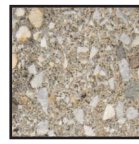
Sagebrush



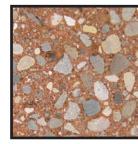
Salmon



Salzburg



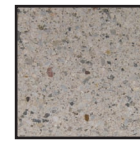
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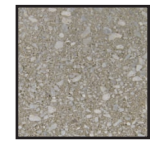
SED Blend



Sedona



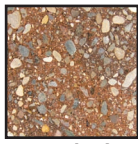
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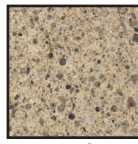
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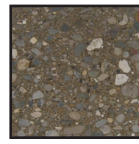
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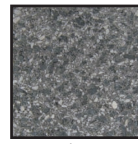
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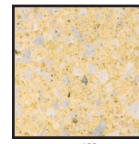
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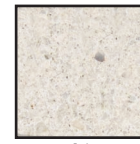
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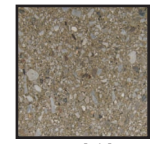
Unicorn



Vanilla



White



Woodside

Colors may vary. For exact color, contact us for a sample.

August 13, 2025

Planning Commission
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, MI 48025

Attention:	Susie Stec, Planning and Zoning Administrator
Subject:	Beverly Hills Academy – Special Land Use and Site Plan Review #2
Location:	32605 Bellvine Trail – west side of Bellvine Trail, south of 14 Mile Road
Zoning:	R-A Single Family Residential District

Dear Commissioners:

At the Village’s request, we have reviewed the revised submittal (site plan dated 3/15/25; building plans dated 7/16/25) from Beverly Hills Academy for a new storage building.

The site plan identifies the proposed accessory building immediately north of the existing building.

Private schools and their related accessory uses and structures are listed as special land uses in the R-A District (Section 22.14.030).

Procedurally, the Planning Commission is to review the special land use and site plan, and provide a recommendation to Village Council following a public hearing.

A. Summary

1. Given the nature and location of the project, we are of the opinion that the special land use standards of Section 46-188 are generally met.
2. In our opinion, the proposed building materials (metal) warrant additional discussion with respect to the requirements of Section 46-232. The inclusion of a metal roof requires specific approval by the Village.
3. There are 2 different building plan drawings (1 with windows and 1 without).
4. The Commission may request details of existing poles/fixtures to determine compliance with current standards and/or require upgrades to any deficiencies.
5. The project area is well buffered from the adjacent residences by mature wooded areas, though the Commission may require additional landscaping, if deemed necessary.
6. The applicant must address any comments provided by the Director of Public Services, Fire Marshal and/or Village Engineering Consultant (this may be included as a condition to a favorable recommendation).

B. Special Land Use Review

- 1. In location, size and intensity of the principal and/or accessory operations, be compatible with adjacent uses and zoning of land.**

The site has been occupied by an institutional/educational use for many years. The site is relatively large (7.5 acres) and is generally viewed as an established use that is compatible with the primarily residential nature of the Village.

The addition of a storage building is not expected to alter the overall operations of the school or its compatibility with surrounding uses.



Aerial view of site and surroundings (looking west)

2. Be compatible with and promote the intent and purpose of this Ordinance.

Storage buildings are relatively common accessory structures for school sites and the proposed location is unlikely to impact surrounding residential uses. As such, we anticipate that the project will be compatible with the intent and purpose of the Zoning Ordinance.

3. Be compatible with the natural environment and conserve natural resources and energy.

The proposed location is currently a relatively flat lawn area between the existing building and parking lot. The subject area does not include any sensitive natural features.

There is a large, wooded area between the proposed building and the nearest residential uses, and no trees need to be removed to accommodate the project.

4. Be consistent with existing and future capabilities of public services and facilities affected by the proposed use.

The addition of a storage building on a relatively large school property is not expected to impact public services and facilities.

However, the Commission should consider any comments provided by Village staff (DPW, engineering, Fire and/or Police).

5. Protect the public health, safety, and welfare as well as the social and economic well-being of those who will use the land use, activity, residents, businesses and landowners immediately adjacent and the Village as the whole.

Given the nature and location of the project, we believe public health, safety, and welfare will be protected.

6. Promote the use of land in a socially and economically desirable manner.

The inclusion of a storage building for a relatively large school site is expected to uphold this standard.

7. Not be in conflict with convenient, safe and normal neighborhood vehicular and pedestrian traffic routes, flows, intersections, and general character and intensity of neighborhood development.

The proposed location will not be in conflict with vehicular and pedestrian circulation patterns.

8. Be of such design and impact that the location and height of buildings, the location, nature and height of walls, fences and the nature and extent of landscaping on the site shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof.

Surrounding properties are developed primarily with residential uses, though there is another institutional use abutting the site to the northwest.

Given the nature and location of the project, the proposal is not expected to hinder or discourage development and use of adjacent land or impair the value thereof.

9. In the nature, location, size and site layout of the use, be a harmonious part of the district in which it is situated taking into account, among other things, prevailing shopping habits, convenience of access by prospective patrons, the physical and economic relationship of one type of use to another and characteristic groupings of uses of said district.

Given the nature and location of the project, the proposal is expected to remain harmonious with the area.

10. In the location, size, intensity and site layout be such that operations will not be objectionable to nearby dwellings, by reason of noise, fumes, glare or flash of lights.

Given the nature and location of the proposal, the storage building is not expected to be objectionable to nearby dwellings by reason of noise, fumes, glare or flash of lights.

11. Be consistent with the character, nature and type of residential districts surrounding the proposed special uses.

Given the nature of the project, its location and the presence of mature landscape screening, the proposal is not expected to alter the character of the property or the surrounding area.

C. Site Plan Review

1. Dimensional Requirements. The proposed accessory building meets or exceeds the minimum dimensional requirements of the R-A District, as well as the requirements of Section 46-170.

2. Buildings. The submittal identifies a metal building with a metal roof and no architectural features, aside from the inclusion of 4 windows. Additionally, there is no indication of the color palette.

Section 46-232 provides building design requirements, though it is unclear whether these requirements are intended for accessory buildings. If the Commission believes these standards apply, then in our opinion, a metal building does not meet the standard for high quality architecture and design in keeping with the intended character of the Village.

Furthermore, metal roofs require specific approval from the Village “when it is demonstrated to be compatible with the residential character of the Village.”

The Ordinance provides the Commission with the discretion to waive the building design requirements based on the provisions of Section 46-232(1), though we feel this aspect of the project warrants additional discussion.

Lastly, the revised submittal includes 2 different version of the proposed building – 1 with windows and 1 without. Assuming the windows are the reason for the resubmittal, the 2nd plan drawing must be removed from the submittal set.

3. Lighting. The site plan does not identify any existing or proposed exterior site lighting.

If deemed necessary, the Commission may request details of existing poles/fixtures to determine compliance with current standards and/or require upgrades to any deficiencies.

4. Pedestrian and Vehicular Circulation. The proposed project does not alter pedestrian or vehicular circulation.

5. Landscaping/Screening. The site plan does not identify any proposed landscaping, but does include a note stating that any dead or decaying landscaping will be replaced.

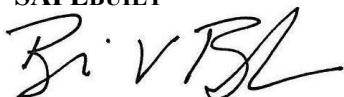
The project area is well buffered from the adjacent residences by mature wooded areas, though the Commission may require additional landscaping, if deemed necessary.

6. Engineering and Public Safety. The Commission should consider any comments provided by the Director of Public Services, Fire Marshal, and/or Village engineering consultant.

If comments have not yet been provided, we suggest the Commission include final engineering and Fire Marshal review as a condition (if favorable action is considered).

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT



Brian V. Borden, AICP
Michigan Planning Manager

Present: Chairperson Westerlund, Vice-Chairperson Dillard-Russaw,
Members: Campbell, Copeland, and Ross

Absent: Members: Erickson, Harper, Lucas, and Trust

Also Present: Planning and Economic Development Director, Stec
Planning Consultant, Borden
Council Liaison, O’Gorman
Recording Secretary, Williams

ROLL CALL/CALL TO ORDER

Chairperson Westerlund called the regular Planning Commission meeting to order at 7:01 p.m. in the Village Council Chambers located at 18500 W. Thirteen Mile Road, Beverly Hills, MI 48025.

APPROVAL OF AGENDA

Motion by Campbell, second by Dillard-Russaw, to approve the agenda as published.

Motion passed.

APPROVAL OF MINUTES

Motion by Dillard-Russaw, second by Campbell, to approve the minutes of the July 23, 2025, Planning Commission meeting.

Motion passed.

PUBLIC COMMENTS ON ITEMS NOT ON PUBLISHED AGENDA

None

OLD BUSINESS

A. PC CASE: 25-05-01 Special Land Use & Site Plan Approval
LOCATION: 32605 Bellvine Trail #2652
PARCEL ID: TH-24-01-326-002
ZONING: R-A, Single Family
PETITIONER: Moe Massalkhi, LMS Construction
OWNER: Elizabeth Bastian, Beverly Hills Academy
REQUEST: Obtain site plan approval & favorable special land use recommendation for the construction of a storage shed.

Stec stated she received revised plans from the applicant last month. Most of the previous Planning Commission comments were addressed; however, there are still elements to be discussed, including masonry wainscoting.

Applicant, Liz Baston, Head of School, was in attendance. Ms. Bastian confirmed the storage shed will be used for school supplies (i.e. tables, chairs, paper, etc.) so they can maximize space within the school. She indicated that windows have been added to the building, and they are proposing

to paint the storage shed to match their school colors. Stec indicated that she did not receive a color rendering of the design.

Commissioners discussed several issues. Concerns were raised about potential noise from the metal roof during storms, wainscot materials, and the proposed roof finish. Questions were raised regarding inconsistencies between plan sets, particularly in the inclusion of windows and the description of a wainscot treatment.

Ms. Bastain confirmed the building would include windows, use painted steel rather than galvanized metal, and that the wainscot described in earlier materials was a painted color strip rather than masonry.

Discussion also addressed whether design standards should apply to an accessory structure, the durability of corrugated metal, and the need to document lighting on both the north and south sides of the property.

Motion by Commissioner Dillard-Russaw, seconded by Commissioner Copeland to recommend the Village Council approval of the special land use and site plan with the following conditions: masonry wainscotting is required on all four sides of the building for durability and protection. The applicant must also address comments from the Department of Public Services, Fire Marshal, and Village Engineering consultant.

Roll Call Vote:

Campbell:	No
Copeland:	Yes
Dillard-Russaw:	Yes
Ross:	Yes
Westerlund:	No

Motion passed (3-2)

NEW BUSINESS

A.	PC CASE:	25-08-01 Special Land Use & Site Plan Approval
	LOCATION:	22055 W. 14 Mile Road
	PARCEL ID:	24-02-427-011
	ZONING:	R-1, Single Family
	PETITIONER:	Todd Dolan, Head of Building & Grounds
	OWNER:	Northbrook Presbyterian Church
	REQUEST	Obtain site plan approval and a favorable special land use recommendation for the construction of a detached garage.

Borden provided a summary of the request and stated that special land use and site plan approval are required. He explained that the site is heavily wooded and buffered but noted that clarification is needed regarding tree removal, as well as siding material, lighting, and dumpster enclosure. Borden advised that the petitioner has submitted revisions to address some of these items.

Petitioner, Todd Dolan, representing Northbrook Presbyterian Church, explained that the detached garage is needed for storage and for housing the existing church van. He stated that it will be constructed to match the church material and that no tree removal is expected. Dolan further explained that the dumpster enclosure will be updated to masonry, three-sided with a gate and will include the required concrete base in accordance with ordinance standards.

The Commission concurred that the existing drainage is adequate and agreed that the excess building width-to-length ratio is minimal and acceptable. The Commission requested that any dead or diseased trees be replaced and noted that the proposed lantern-style lighting fixtures are low-scale and residential in character.

The public hearing was opened at 7:51pm. No comments were made. The public hearing closed at 7:52pm,

Motion by Commissioner Campbell Second by Dillard-Russaw to recommend approval of the special land use and site plan to Village council with the following conditions: approve proposed all length-to-width ratio, finding no adverse impact on surrounding neighborhood. Replace any dead or diseased trees or required landscaping on site. Waste receptacle enclosure must comply with ordinance. Applicant to address all comments from the Village Engineer, Fire Marshal, and Department of Public Services.

Roll Call Vote:

Copeland:	Yes
Dillard-Russaw:	Yes
Ross:	Yes
Westerlund:	Yes
Campbell:	Yes

Motion passed (5-0)

B. PC CASE: 25-08-02 Sign Permit
LOCATION: 31221 Southfield Road
PARCEL ID: 99-00-004-610
ZONING: B-Business
PETITIONER: Chris Wainer, The Bev
OWNER: Chris Wainer, The Bev
REQUEST: Obtain approval to install permanent wall signage.

Stec provided an overview and confirmed that the proposed sign complies with the overall size requirement and that the minimum spacing between signate is 20ft.

Applicant Mary-Ann Dieters of Metro Signs and Lighting addressed the commissioners and confirmed installation of the new sign.

Commissioners discussed the consistency and visual integration of the sign with the rest of the plaza signage.

Motion by Ross, second by Dillard-Russaw, to approve PC Case 25-08-02 Sign Permit at 31221 Southfield Road as presented.

Roll Call Vote:

Campbell:	Yes
Copeland:	Yes
Dillard-Russaw:	Yes
Ross:	Yes
Westerlund:	Yes

Motion Passed (5-0)

C. Proposed Zoning Text Amendments: Generators & HVAC Standards

Westerlund opened discussion on proposed zoning text amendments regarding generators and HVAC unit standards. The commission reviewed prior discussions from April and May and received staff comments on the most recent draft.

Commission discussed standards and agreed to eliminate the screening requirement for all mechanical units, retain provisions for spacing, setbacks and noise limits.

Staff will revise the ordinance language to reflect the removal of screening and clarifications on setbacks.

Commission agreed to proceed with scheduling a public hearing for next month to consider the amended zoning text.

D. Proposed Zoning Text Amendments: Fence Standards

Stec indicated that Village Council has held their 1st reading of the revised standard and has additional questions before action. Specially, they would like to know if it was the intent of the fence ordinance revisions to prohibit white fences. Village Council also inquired as to why PVC/vinyl fencing is proposed to be prohibited.

It was clarified that the Planning Commission's prior intent was to prohibit six-foot high solid white PVC/vinyl fences, but not to prohibit shorter or open-style fences such as white picket or split-rail fences.

Commission decided PVC/Vinyl material is prohibited for solid fences of any height due to its durability. Open fences in PVC/vinyl are allowed up to 3ft in height with 35% opacity. The color white is not permitted for solid fences of any height.

Staff will forward the clarification on to Village Council for consideration at their next meeting.

PUBLIC COMMENTS

None

LIAISON COMMENTS

None

STAFF COMMENTS

Stec announced that she and Borden will be attending the Michigan Planning Conference in October, so the October Planning Commission meeting will be canceled. The next meeting will be held in September for a public hearing.

Stec spoke on the upcoming master plan updates in 2026 and confirmed that there will be public engagement opportunities.

COMMISSIONER COMMENTS

The Commission welcomed newly appointed members Ross and Cambell.

CORRESPONDENCE

No additional correspondence was presented.

ADJOURNMENT

Motion by Dillard-Russaw, second by Ross, to adjourn the meeting at 9:05 p.m.

Motion passed.

Patrick Westerlund
Chairperson

Carissa Brown
Village Clerk

Lydia Williams
Recording Secretary



Agenda Item Summary

To: Village Council
From: Susie Stec, Planning & Economic Development Director
Re: ***Business Agenda - 2. Public Hearing and consideration of the Program Year 2026 CDBG Funding Allocation***
Date: November 4, 2025 - [Click to View Agenda](#)

Summary:

Annually, the Village receives Community Development Block Grant (CDBG) funds from Oakland County which are used to provide yard services (i.e. grass cutting & snow removal) and minor home repairs for income-eligible seniors in the community; these projects are managed on behalf of the Village by NEXT. Historically, the Village of Beverly Hills has been allocated the minimum amount as we do not have any qualifying census tracts, and the amount fluctuates annually due to the overall allocation to Oakland County. In our most recent program year, we were awarded \$3,500 for Public Services — Yard Services and \$10,650 for Minor Home Repair.

Beginning with Program Year 2026, Oakland County is implementing several changes, including restructuring how funds will be allocated across the county. Now, instead of utilizing a formula-based allocation method, communities are required to submit proposals for program activities (i.e. Minor Home Repair), and essentially compete with other Oakland County communities for funding. The only funds that are guaranteed are those from the "public services" bucket, which are capped at 15% of the overall allocation. After discussing the demand for the programs (yard service and minor home repair) with NEXT staff, and evaluating potential projects for which proposals may be submitted, Village Administration has chosen to only pursue 2026 CDBG funds to maintain the Public Services - Yard Services program.

Recommendation:

Conduct the required public hearing and consider approving the allocation of Community Development Block Grant funds for Program Year 2026 to continue the Public Services - Yard Services program for income-eligible seniors. A suggested resolution is attached.

Attachments:

1. Certified Resolution CDBG Program Year 2026



**RESOLUTION AUTHORIZING THE VILLAGE OF BEVERLY HILLS’
COMMUNITY DEVELOPMENT BLOCK GRANT APPLICATION
FOR PROGRAM YEAR 2026**

In a motion by _____, with support from _____:

Whereas, Oakland County is preparing an Annual Action Plan to meet application requirements for the Community Development Block Grant (CDBG) program, and other Community Planning and Development (CPD) programs; and Whereas, Oakland County has requested CDBG-eligible projects from participating communities for inclusion in the Action Plan; and

Whereas, the Village of Beverly Hills has duly advertised and conducted a public hearing as follows:

President George opened the Public Hearing at _____ p.m.

_____ wished to be heard.

President George closed the Public Hearing at _____ on November 4, 2025 for the purpose of receiving public comments regarding the proposed use of PY 2026 Community Development Block Grant (CDBG) funds in the approximate amount of \$3,500.00; and

Whereas, the Village of Beverly Hills found that the following projects meet the federal objectives of the CDBG program and are prioritized by the community as high priority need.

Account	Project Name	Amount
172160-732170	Public Services – Yard Services	\$3,500

Therefore, be it resolved, that the Village of Beverly Hills’ Community Development Block Grant application is hereby authorized to be submitted to Oakland County for inclusion in Oakland County’s Annual Action Plan to the U.S. Department of Housing and Urban Development, and that the Council President or his designee is hereby authorized to execute all documents, agreements, or contracts which result from this application to Oakland County.

AYES: ____

NAYS: ____

ABSENT: ____

Passed and approved on this 19th day of November, 2024.

STATE OF MICHIGAN)
)ss
COUNTY OF OAKLAND)

I hereby certify that the foregoing is a true and complete copy of a resolution adopted at a regular meeting of the Beverly Hills Village Council, Oakland County, Michigan, on the 4th day of November, 2025, the original of which is on file in my office.

I further certify that notice of the meeting was given pursuant to and in full compliance with Act No. 267, Public Acts of Michigan, 1976, as amended.

IN WITNESS WHEREOF, I have hereunto affixed by official signature this ____ day of _____ 2025.

Carissa Brown, Village Clerk



Agenda Item Summary

To: Village Council
From: Susie Stec, Planning & Economic Development Director
Re: ***Business Agenda - 3. Second Reading of Ordinance #393***
Date: November 4, 2025 - [Click to View Agenda](#)

Summary:

Based on comments from the first reading on October 21st minor changes were made to the proposed ordinance language. These changes include language clearly stating the standards are applicable to permanent, ground-mounted mechanical units, and aligning the testing hours for such units with [Section 26-118\(b\)\(8\)](#) which allows construction noises Monday–Saturday, 7:00 am - 8:00 pm. These changes are identified in red in the attached draft.

Recommendation:

Adopt proposed zoning ordinance amendments for accessory mechanical units, as presented.

Attachments:

1. Ordinance #393 - Redline Changes
2. Ordinance #393 Second Reading Copy

Sec. 46-170. Accessory buildings, structures and uses in residential zone districts.

(j) **Permanent, ground-mounted** mechanical units (i.e. a/c condensers, generators, or any other noise-producing mechanical system located in the yard of a residential unit) may be located as follows:

- i. Within a rear yard; provided that the unit is located at least five (5) feet from adjoining lot lines and not more than five (5) feet from the principal building;
- ii. Within a side yard which is in excess of the required side yard setback and not more than five (5) feet from the principal building;
- iii. The noise generated by such unit shall not exceed 70dBA when measured from the nearest point at the property line, as determined by the manufacturer's specifications. Testing or maintenance of generators shall only be permitted between the hours of **7:00 a.m. and 8:00 p.m. Monday through Saturday.**
- iv. Properties with existing mechanical equipment located in the side yard may be repaired or replaced in the same location. Expansion or relocation of mechanical equipment shall be subject to the provisions of this section.

VILLAGE OF BEVERLY HILLS
ORDINANCE NO. _____

AN ORDINANCE TO AMEND CHAPTER 46, ZONING, SECTION 170 –
ACCESSORY BUILDINGS, STRUCTURES AND USES IN RESIDENTIAL ZONE
DISTRICTS, OF THE VILLAGE MUNICIPAL CODE

The Village of Beverly Hills Ordains:

Section 1.01. Chapter 46, Section 170 – Accessory buildings, structures and uses in residential zone districts, be amended to add Section (j) Mechanical units (i-iv) to read as follows:

Chapter 46, Section 46-170(j) Mechanical units (i-iv).

Sec. 46-170. Accessory buildings, structures and uses in residential zone districts.

(j) Permanent, ground-mounted mechanical units (i.e. a/c condensers, generators, or any other noise-producing mechanical system located in the yard of a residential unit) may be located as follows:

- i. Within a rear yard; provided that the unit is located at least five (5) feet from adjoining lot lines and not more than five (5) feet from the principal building;
- ii. Within a side yard which is in excess of the required side yard setback and not more than five (5) feet from the principal building;
- iii. The noise generated by such unit shall not exceed 70dBA when measured from the nearest point at the property line, as determined by the manufacturer's specifications. Testing or maintenance of generators shall only be permitted between the hours of 7:00 a.m. and 8:00 p.m. Monday through Saturday.
- iv. Properties with existing mechanical equipment located in the side yard may be repaired or replaced in the same location. Expansion or relocation of mechanical equipment shall be subject to the provisions of this section.

Section 2.01. SEVERABILITY. If any section, clause or provision of this Ordinance shall be declared to be inconsistent with the Constitution and laws of the State of Michigan and voided by any court of competent jurisdiction, said section, clause or provision declared to be unconstitutional and void shall thereby cease to be a part of this Ordinance, but the remainder of this Ordinance shall stand and be in full force.

Section 3.01. SAVING CLAUSE. All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this Ordinance takes effect are saved and may be consummated according to the law when they were commenced.

Section 4.01. EFFECTIVE DATE. A public hearing having been held by the Planning Commission on September 24, 2025, the provisions of this Ordinance shall take effect upon its publication in a newspaper circulated within the Village.

Made and passed by the Village Council of the Village of Beverly Hills this _____ day of October, 2025.

John George, Village President

Carissa Brown, Village Clerk

I, Carissa Brown, being the duly appointed and qualified Clerk of the Village of Beverly Hills, Oakland County, Michigan, do hereby certify and declare that the foregoing is a true and correct copy of an Ordinance adopted by the Village Council of the Village of Beverly Hills at a regular meeting thereof held on the ____ day of November, 2025.

Carissa Brown, Village Clerk



Agenda Item Summary

To: Village Council
From: Edward Arnold, Public Safety Director

Re: ***Business Agenda - 4. First Reading of Ordinance #394***
Date: November 4, 2025 - [Click to View Agenda](#)

Summary:

During a review of a recently submitted permit, Lieutenant Ginther determined that the Village's current open burning ordinance is dated and not representative of current fire code practices. This finding prompted a review of related sections within the Village Code. The attached ordinance serves as an update to several provisions concerning open burning and the enforcement of the National Fire Prevention Code.

Chapter 18 – Fire Prevention and Protection – Article I General

- **Section 18-2 Definitions**

No deletions are proposed. Six new definitions are being added to provide terminology that will be referenced throughout the updated ordinances.

- **Section 18-6 Open Burning**

In addition to the existing provisions, three new subsections are proposed to define and allow "ground fires" and to clarify what types of open burning are permitted.

- **Section 18-11 Key Boxes**

Section 11 is proposed to be added from the previously reserved Sections 11–38 to incorporate current best practices for commercial building access during fire incidents, consistent with NFPA standards. While the official term is *Key Box*, the device is commonly referred to as a *Knox Box*.

Chapter 18 – Fire Prevention and Protection – Article II Fire Code

- **Section 18-39 Code Adopted**

It is recommended that the Village adopt by reference the current NFPA codes. The proposed language specifies that the applicable code will be the edition in effect at the

time of plan review, ensuring that the Village's fire code remains current without specifying a particular year. This approach prevents the code from becoming outdated over time.

Chapter 32 – Solid Waste – Article I General

- **Section 32-2 Open Burning Prohibited**

Because open burning is addressed in both the Fire Prevention and Solid Waste sections of the Village Code, this section is proposed to be revised to ensure consistency between the two by cross-referencing the same standards.

Recommendation:

Hold the first reading of Ordinance #394 as presented.

Attachments:

1. Ordinance #394 - First Reading Draft

VILLAGE OF BEVERLY HILLS
ORDINANCE NO. _____

AN ORDINANCE TO AMEND CHAPTER 18, FIRE PREVENTION AND PROTECTION, ARTICLE I – GENERAL AND ARTICLE II – FIRE CODE AND CHAPTER 32 – SOLID WASTE, ARTICLE I – GENERAL, VILLAGE MUNICIPAL CODE

The Village of Beverly Hills Ordains:

Section 1.01. Chapter 18, Article I, Section 18.02 – Definitions, be amended to add the following language to read as follows:

Chapter 18, Article I – Definitions.

Emergency Vehicle Access means a passageway for police vehicles, fire apparatus and other emergency vehicles to access a street or property in the event of an emergency.

Fire Code Official, means the public safety director, fire marshal, fire inspector, public safety officer, code enforcement officer, or other designated authority charged by the applicable governing body with the duties of administration and enforcement of the code, or duly authorized representative. The term “fire code official” may be used interchangeably with “code official” and “fire official”.

Fire Watch means a temporary measure intended to ensure continuous and systematic surveillance of a building or portion thereof by one or more qualified individuals for the purposes of identifying and controlling fire hazards, detecting early signs of unwanted fire, raising an alarm of fire and notifying the fire department by method(s) approved or recommended by the fire code official.

Ground Fire means an outdoor fire for the purpose of viewing or warming, or utilized to cook food for human consumption, or for ceremonial purposes, which burns only seasoned dry firewood or commercially available charcoal briquettes intended to minimize the generation of air contaminants.

NFPA refers to the National Fire Protection Association and the standards that are adopted by that organization which are adopted by the Village of Beverly Hills.

Noncompliant refers to alterations, modifications, or other such changes to use, occupancy, fire suppression, protection, detection, alarm, or other related systems, affecting the design, installation, or proper or intended operation of said system. Does not comply with the applicable standard or criteria set forth when originally installed, tested, and approved.

Section 2.01. Chapter 18, Article I Section 18-6.1 through Section 18-11.6 be amended to add the following language to read as follows:

Section 18-6.1 - Open burning - No person shall place or cause to be placed any ashes, clinkers, smoldering coal or embers or similar residue from any heating appliance in any other than metal or nonflammable containers, nor shall such ashes be piled against any combustible wall or partition or on any combustible floor; provided, however, that dead ashes may be placed in paper cartons or boxes when placed out of doors at the rear of the premises to await the pickup of such ashes and other debris. When such ashes are placed out of doors in containers as herein specified, such containers must be placed at least three feet away from any wooden wall, fence, building or combustible material. No person shall start or cause any fire to occur larger than a ground fire as outlined in Sec. 18-6.4.

Section 18-6.2 - Open burning prohibited - Open burning that is offensive or objectionable, as determined by the public safety department fire code official, because of smoke or odor emissions or when atmospheric conditions or local circumstances make such fires hazardous shall be prohibited. Burning for purposes of incineration of waste material including paper, leaves, or any other combustible debris, outside of any structure at any place is prohibited.

Section 18-6.3 - Extinguishment Authority - The public safety department fire code official is authorized to order the extinguishment, by the responsible person, another person responsible, or by the public safety department, of open burning that creates or adds to a hazardous or objectionable situation.

Section 18-6.4 - Ground Fires - A ground fire shall not be conducted within 50 feet of a structure or combustible material unless the fire is contained in a barbecue pit or outdoor fireplace that was designed for such a purpose. Conditions which could cause a fire to spread within 50 feet of a structure shall be eliminated prior to ignition, be the minimum size for the intended purpose, but not larger than 3 feet in diameter and 2 feet in height and shall be contained in a safe manner within non-combustible materials.

Section 18-11.1 - Key Box-Purpose - Experience shows that when a fire occurs in a building, the Beverly Hills Public Safety Department is faced with entry into the structure to locate, confine control and extinguish the fire or effect a rescue. In many cases entry into the structure must be made by force, which is time-consuming and demands extra energy to be exerted by firefighting personnel. In order to expedite entry into the building and to aid the public safety department responding, the installation and use of a key box may be required.

Section 18-11.2 - Key Box-Required - In addition to the provisions of Section 18.2.2.1 of NFPA 1, a key box approved by the fire prevention bureau of the public safety department shall be installed and maintained on all buildings, except that a key box is not required for any building that the Michigan Residential Construction Code applies to.

No certificate of occupancy shall be issued to any building required to have a key box until it is demonstrated that a key box approved by the fire prevention bureau of the village public safety department has been installed as required by this article.

Section 18-11.3 – Key Box-Location - The location of the key box shall be approved by the fire prevention bureau of the public safety department. The public safety department fire code official shall use one (1) or more of the following criteria to approve the location of the key box:

- a) The key box may be located at or near the recognized public entrance;
- b) The key box may be located adjacent to the alarm enunciator panel;
- c) When the occupancy is serviced by a fire sprinkler system, the key box may be located above the fire department connection;
- d) The key box shall be connected to the NFPA 72A Fire Alarm Control Panel when provided. Wiring for the connection shall be supervised as required by NFPA 72A. The key box shall be connected in such a manner that tampering or opening of the box shall produce a supervisory signal.

Section 18-11.4 – Key Box-Contents - The key box shall contain keys that are labeled and identified as follows:

- (a) The main entrance door, except that main entrance keys are only required for mixed occupancy and strip shopping centers where there is a system control valve or a fire alarm system panel;
- (b) The alarm room;
- (c) All mechanical rooms and sprinkler control rooms;
- (d) The fire alarm control panel;
- (e) The electrical rooms;
- (f) Any special keys to reset pull-stations or other fire protective devices;
- (g) The fire department elevator keys;
- (h) Any other rooms that are specified by the fire prevention bureau of the public safety department.

Section 18-11.5 – Key Box-Compliance - All new or remodeled structures must comply with the requirements of this article prior to occupancy. Required approvals and specifications shall be obtained during the plan review process.

Sec. 18-11.6 – Key Box-Applications - Application for a key box shall be made on forms (paper or electronic) provided by the fire prevention bureau of the public safety department.

Section 3.01. Chapter 18, Article II – Fire Code be amended to read as follows:

Section 18-39. - Code adopted. Pursuant to the provisions of Public Act No. 203 of 1972 (MCL 125.1501 et seq.), the current Fire Code NFPA 1 and NFPA 101, and their referenced NFPA codes within those documents, as published by the National Fire Protection Association, are hereby adopted by reference. Plan Review will be based upon the most recently published standard at the time of review and notice is hereby given that complete copies of the code will be made available for public use and inspection at the office of the Village Clerk.

Chapter 32, Solid Waste, Article 1 – General, be amended to read as follows:

Section 4.01. Chapter 32, Solid Waste, Article I – General

Section 32-2. - Open burning prohibited. No person shall cause or permit any open burning of fuel, garbage, or other combustible refuse or waste material, including leaves, brush, tree trimmings and grass. This provision shall not be construed to prohibit fires of charcoal or of non-ash-producing fuel when used for purposes outlined in Sec. 18-6.4 – Ground Fires.

Section 5.01. SEVERABILITY. If any section, clause or provision of this Ordinance shall be declared to be inconsistent with the Constitution and laws of the State of Michigan and voided by any court of competent jurisdiction, said section, clause or provision declared to be unconstitutional and void shall thereby cease to be a part of this Ordinance, but the remainder of this Ordinance shall stand and be in full force.

Section 6.01. SAVING CLAUSE. All proceedings pending and all rights and liabilities existing, acquired or incurred at the time this Ordinance takes effect are saved and may be consummated according to the law when they were commenced.

Section 7.01. REPEALER. Any Ordinances conflicting with these Ordinances be and the same is hereby repealed.

Section 8.01. EFFECTIVE DATE. This Ordinance shall take effect 20 days from and after the final passage and publication by the Village of Beverly Hills.

Made and passed by the Village Council of the Village of Beverly Hills this _____ day of November, 2025.

John George, Village President

Carissa Brown, Village Clerk

I, Carissa Brown, being the duly appointed and qualified Clerk of the Village of Beverly Hills, Oakland County, Michigan, do hereby certify and declare that the foregoing is a true and correct copy of an Ordinance adopted by the Village Council of the Village of Beverly Hills at a regular meeting thereof held on the ____ day of November, 2025.

Carissa Brown, Village Clerk



Agenda Item Summary

To: Village Council
From: Edward Arnold, Public Safety Director

Re: ***Business Agenda - 5. Approve Purchase of Detective Bureau Vehicle***
Date: November 4, 2025 - [Click to View Agenda](#)

Summary:

The Fiscal Year 2026 budget includes funding for the purchase of a replacement vehicle for the Detective Bureau. Accompanying this report is a memo from Deputy Director Davis and assorted quotes. The vehicle will be purchased through Lunghamer Ford of Owosso and equipment upfitting from Canfield Equipment Service. Both of these vendors participate in the MiDeal Cooperative Purchasing Program. I will be in attendance at the meeting to answer additional questions the Council may have.

Financial Impact:

Sufficient funds are available in the Fiscal Year 2026 budget for this purchase. The total cost of the vehicle is \$59,537.18.

Recommendation:

BE IT RESOLVED, the Beverly Hills Village Council hereby approves the purchase of a replacement vehicle for the Detective Bureau from Lunghamer Ford and further authorizes the equipment proposal from Canfield Equipment Service for a total combined amount of \$59,537.18. Funds are available in account #205-900-981.00.

Attachments:

1. Detective Bureau Agenda Item



Memo



Beverly Hills Public Safety Department

To: Director Edward Arnold

From: Deputy Director Lee Davis

Date: 9/24/2025

Re: Detective Bureau New Ford Interceptor Hybrid

I am respectfully requesting that we replace one unmarked Detective Bureau car with funds from the FY 2026 budget. The purchase would be for one 2026 Ford Interceptor Hybrid. The purchase would be through the MiDEAL listed Lunghamer Ford located at 1960 East Main Street, Owosso, MI. 48867. The 2026 Vehicle State of Michigan Contract # MA 240000001208 price would be for a total of \$49,541.00.

The vehicle to be replaced is a 2011 Ford Taurus with 50,410 miles. This decommissioned car would then be offered for sale through our Enterprise Fleet Management service. Resulting revenues would be deposited into the vehicle fleet account for future vehicle purchases. Thank you in advance.



September 24, 2025

City of Beverly Hills
Attn: Director Lee Davis
18500 W 13 Mile Rd.
Beverly Hills, MI 48025

Dear Director Lee Davis:

Price on 2026 Vehicle State of Michigan Contract# MA 240000001208 and Macomb County Contract# 21-18 Bid:

2026 Ford Police Interceptor AWD Utility Hybrid in Dark Blue \$49,541.00 ea

Order Cutoff Date: TBD.

Delivery date: Approximately 90-120 Days A.R.O.

Service Contract: 36,000 miles or 36 months factory bumper to bumper warranty and 100,000 miles or 60 months powertrain warranty.

Ford Motor Company does not guarantee delivery---Ford Motor Company will make reasonable efforts to schedule orders received prior to fleet order cut-off date.

Payment requirements: All departments to pay on delivery of vehicle. 10-day grace period will be given if previous arrangements have been made. An \$8.00 per day floor plan will be charged if payment is not at the dealership within 10 days of delivery of the vehicle (s).

If you have any questions please call me, 888-92-Fleet (888-923-5338).

Respectfully Submitted,

Bill Campbell

Bill Campbell
Government & Fleet Sales

State of Michigan 2026 Utility Police Interceptor Major Standard Equipment

MECHANICAL

- Axle Ratio -- 3.73 (AWD)
- Brakes -- 4-Wheel Heavy-Duty Disc w/H.D. Front and Rear Calipers
- Class III Trailer Hitch Receiver with 5,000 lbs. towing capacity and (2) recovery hooks Note: Includes Class III Trailer Tow Lighting Package
- Column Shifter
- DC/DC converter -- 220-Amp (in lieu of alternator)
- Drivetrain -- All-Wheel-Drive
- Electric Power-Assist Steering (EPAS) -- Heavy-Duty
- Engine -- 3.3L V6 Direct-Injection FFV
- Engine Hour Idle Meter
- Engine Hour Meter
- Engine Oil Cooler
- Fuel Tank -- 19-gallons
- H8 AGM Battery (850CCA/92-amp)
- Lithium-Ion Battery Pack
- Manual Police Pursuit Mode (Steering Wheel Switch Execution)
- Suspension -- Independent front & rear
- Transmission -- 10-speed automatic
- Transmission Oil Cooler

EXTERIOR

- Antenna, Roof-mounted
- Cladding -- Lower bodyside cladding (MIC)
- Door Handles -- Black (MIC)
- Exhaust, True Dual (down-turned)
- Daytime Running Lamps -- Configurable ON/OFF through instrument cluster Note: Select option (942) if desire is to have Daytime Running Lamps permanently on (cannot be turned off or reprogrammed)
- Door-Lock Cylinders (Front Driver / Passenger / Liftgate)
- Glass -- 2 nd Row, Rear Quarter and Liftgate Privacy Glass
- Grille -- Black (MIC)
- Headlamps -- Automatic, LED Low-and-High-Beam
- Note: Includes Front Headlamp / Police Interceptor Housing (with LED wig-wag feature)
- Pre-drilled hole for side marker police use, does not include LED strobe, but includes LED wig-wag functionality (eliminates need to drill housing assemblies and provides LED wig-wag feature)
- Pre-molded side warning LED holes with standard sealed capability (does not include LED installed lights)
- Wig-wag default is traditional ping-pong pattern; can be programmed to triple-burst pattern or ping-pong / triple-burst Note: Must be wired to vehicle's light controller to enable wig-wag functionality; recommend Ready for the Road Package (67H) or Ultimate Wiring Package (67U)
- Liftgate -- Manual 1-Piece -- Fixed Glass w/Door-Lock Cylinder
- Mirrors -- Black Caps (MIC), Dual Pwr/Heated/Manual Fold Back Mirror
- Spare -- Full size 18" Tire w/TPMS
- Spoiler -- Painted Black
- Liftgate Handle -- (MIC)
- Tail lamps -- LED
- Tail Lamp Prep Kit
- Tires -- 255/60R18 A/S BSW
- Wheel-Lip Molding -- Black (MIC)
- Wheels -- 18" x 8.0 painted black steel with polished stainless steel hub cover
- Windshield -- Acoustic Laminated

INTERIOR/COMFORT

- Cargo Hooks in cargo area
- Climate Control -- Dual-Zone Electronic Automatic Temperature Control (DEATC)
- Climate Control -- Rear Aux A/C System
- Dark Car
- Door-Locks
- Power
- Rear-Door Handles and Locks Operable
- Fixed Pedals (Driver Dead Pedal)
- Floor -- Flooring -- Heavy-Duty Thermoplastic Elastomer
- Glove Box -- Locking/non-illuminated
- Grab Handles -- (1 -- Front-passenger side, 2-Rear)
- Heated Sanitization Solution
- Liftgate Release Switch located in overhead console (45 second timeout feature)
- Lighting
- Overhead Console
- Red/White Task Lighting in Overhead Console
- Mirror -- Day/Night Rear View
- Particulate Air Filter
- Powerpoints -- (2) USB A+C Type Ports
- Rear-door closeout panels
- Rear-window Defrost
- Scuff Plates -- Front & Rear
- Seats

- 1 st Row Police Grade Cloth Trim, Dual Front Buckets with reduced bolsters
- 1 st Row -- Driver 6-way Power track (fore/aft, Up/down, tilt with manual recline, 2-way power lumbar)
- 1 st Row -- Passenger 4-way Power track with 2-way power recline and 2-way power lumbar
- Built-in steel intrusion plates in both driver/passenger seatbacks
- 2 nd Row Vinyl, 35/30/35 Split Bench Seat (manual fold-flat, no tumble) -- fixed seat track
- Red and White Dome Lamp in Cargo Area
- Speed (Cruise) Control
- Speedometer -- New 12.3" Display Calibrated (includes digital readout)
- Steering Wheel -- Manual / Tilt / Telescoping, Urethane wheel finish w/Silver Painted Bezels with Speed Controls and 4 user -- configurable latching switches
- Sun visors, color-keyed, non-illuminated
- Universal Top Tray -- Center of I/P for mounting aftermarket equipment
- Windows, Power, 1-touch Up/Down Front Driver/Passenger-Side with disable feature

SAFETY/SECURITY

- AdvanceTrac® w/RSC® (Roll Stability Control®)
- Airbags, dual-stage driver & front-passenger, side seat, passenger-side knee, Roll Over Protection and Safety Canopy®
- Anti-Lock Brakes (ABS) with Traction Control
- BLIS® -- Blind Spot Monitoring with Cross-traffic Alert
- Brakes -- Police calibrated high-performance regenerative braking system
- Belt-Minder® (Front Driver / Passenger)
- Cross Traffic Brake Assist (HNYAC)
- Child-Safety Locks (capped; set to "on")
- Individual Tire Pressure Monitoring System (TPMS)
- LATCH (Lower Anchors and Tethers for Children) system on rear outboard seat locations
- Police Perimeter Alert detects motion in an approximately 270-degree radius on sides and back of vehicle; if movement is determined to be a threat, chime will sound at level I. Doors will lock and windows will automatically go up at level II. Includes visual display in instrument cluster with tracking.
- Pre-Collision Mitigation system Note: Includes unique one-touch temporary disable switch for Law Enforcement use
- Rearview Camera viewable on 8" Center Stack Screen
- 1/4 Scale Rear Camera Display (Available)
- Reverse Sensing System
- Seat Belts, Pretensioner/Energy-Management System w/adjustable height in 1st Row
- SOS Post-Crash Alert System™

FUNCTIONAL

- 100 Watt Siren/Speaker Prep Kit
- Cellular Remote Start
- Compass Display
- Speed Control
- Audio
- AM/FM / MP3 Capable / Clock / 4-speakers
- SYNC® Phoenix
- Includes hands-free voice command support (compatible with most Bluetooth connected mobile devices)
- USB Port -- (1)
- 8" Color LCD Screen Center-Stack "Smart Display"
- Supports Android Auto and Apple CarPlay
- UIS (Upfitter Interface System) Located behind 2nd row passenger seat floorboard
- Easy Fuel® Capless Fuel-Filler
- Fleet Telematics Modem
- Front door tether straps (driver/passenger)
- PATRO output tied to liftgate release switch (Police Accessory Independent Timed-Release Output)
- Police Engine Idle
- Power pigtail harness
- Simple Fleet Key (w/o microchip, easy to replace; 4-keys)
- Keyless Entry -- Key FOB Only (Less PATS) -- Includes 4 fobs
- Two-way radio pre-wire
- Two (2) 50 -- amp battery power circuits -- power distribution junction block (behind 2nd row passenger seat floorboard)
- Wipers -- Front Speed-Sensitive Intermittent; Rear Dual Speed Wiper

WARRANTY

- 3 Year / 36,000 Miles Bumper / Bumper
- 8 Year / 100,000 Miles Hybrid Unique Components
- POWERTRAIN CARE EXTENDED SERVICE PLAN
- 5-year/100,000-mile Powertrain CARE Extended Service Plan (zero deductible) -- Standard

Police Interceptor Utility Base Prices

[] Utility All Wheel Drive (3.3L V6 Direct-Injection FFV, 136 MPH, 99B/44U) K8A/500A	\$44,991.00
[x] Utility All Wheel Drive (3.3L V6 Direct-Injection Hybrid Eng., 136 MPH, 99W/44B) K8A/500A	\$44,991.00
[] Utility All Wheel Drive (3.0L V6 EcoBoost, 148 MPH, 99C/44U) K8A/500A	\$47,965.00

VEHICLE COLOR: Order Code	Interior Trim Color	
	Charcoal Black (9W)	
Dark Blue	[LK]	[x]
Royal Blue	[LM]	[]
Vermillion Red	[E4]	[]
Silver Grey Metallic	[TN]	[]
Agate Black	[UM]	[]
Oxford White	[YZ]	[]
Sterling Grey Metallic	[UJ]	[]
Carbonized Grey	[M7]	[]
Arizona Beige Metallic Clearcoat	[E3]	[]
Light Blue Metallic	[LN]	[]
Kodiak Brown Metallic	[J1]	[]
Police Green	[F1]	[]

INTERCEPTOR OPTIONAL FEATURES:

Flooring/Seats

	Code	\$Cost
[] 1st and 2nd row carpet floor covering	16C	150.00
[] 2nd Row Cloth Seats	FW	70.00
[] Rear Console Plate (Not available with Interior Upgrade Pkg – 65U)	85R	60.00
[x] Interior Upgrade Package	65U	610.00

- 1st and 2nd Row Carpet Floor Covering
- Cloth Seats – Rear
- Center Floor Console less shifter w/unique Police console finish plate
- Includes Console and Top Plate with 2 cup holders
- Floor Mats, front and rear (carpeted)
- 18" Aluminum Wheel
- Selectable Sport Mode
- High Series Headlamp with LED Corner Warning Lights
- Includes SYNC® Phoenix

Note: Not available with EcoBoost Powertrain (99C/44U), Ready for the Road (67H), Ultimate Wiring Package (67U), and Side Marker LED (63B)

Lamps/Lighting

[] Side Marker LED – Sideview Mirrors (Red / Blue)	63B	490.00
[] Rear Quarter Glass Side Marker Lights (Red/Blue)	63L	580.00
[] Front Warning Auxiliary Light (Driver side – Red / Passenger side – Blue)	21L	580.00
[] Rear Auxiliary Liftgate Lights (Red/Blue LED Lights; located beneath liftgate glass in applique panel)	43A	400.00
[] Rear Spoiler Traffic Warning Light		
[] Spot Lamp – Driver Only (LED Bulbs) (Unity)	96T	1500.00
[] Spot Lamp – Driver Only (LED Bulbs) (Whelen)	51R	400.00
[] Spot Lamp – Dual (driver and passenger) (LED Bulbs) (Unity)	51T	420.00
[] Spot Lamp – Dual (driver and passenger) (LED Bulbs) (Whelen)	51S	790.00
[] Spot Lamp – Dual (driver and passenger) (LED Bulbs) (Whelen)	51V	880.00

Body

[] Glass – Solar Tint 2nd and 3rd Row (Deletes Privacy Glass)	92G	120.00
[] Glass – Solar Tint 2nd Row (Privacy Glass on Rear Quarter and Liftgate Window)	92R	90.00
[] Deflector Plate	76D	340.00

Wheels

[] Wheel Covers (18" Full Face Wheel Cover)	65L	70.00
[] 18" Painted Aluminum Wheel	64E	475.00

Misc

[] Engine Block Heater	41H	190.00
[] License Plate Bracket – Front	153	N/C
[] Badge Delete (Police Interceptor Badge Only)	16D	N/C
[] 100 Watt Siren/Speaker (Includes bracket and pigtail)	18X	350.00

Misc. Continued

[] Noise Suppression Bonds (Ground Straps)	60R	100.00
[] Rear Bumper Step Pad	16P	100.00

Audio/Video

[] 12.1" Integrated Computer Screen	47E	3700.00
• Includes 12.1" touchscreen display in center stack and allows for operation of laptop in remote location to free up cabin space in front passenger area		
• Includes Audio Video Extender (AVX) box, (2) AVX cables, (2) USB cables and (1) HDMI cable		
• Includes SYNC Phoenix ®		
[] ¼ Size Picture in Picture (8" Rear Camera Image in upper lefthand quadrant of display). Not available with Integrated Computer Screen (47E)	87M	N/C

Doors/Windows

[x] Global Lock / Unlock feature (Door-panel switches will lock/unlock all doors and rear liftgate. Eliminates the overhead console liftgate unlock switch) ***** OLD STYLE REAR HATCH LOCK / UNLOCK *****	18D	N/C
[] Hidden Door Lock Plunger, Rear Door Handle and Rear Windows Inoperable	52P	160.00
[] Rear Door Handles Inoperable/Locks Inoperable and Rear Windows Inop.	68G	80.00
[] Lock system; Single Key/All Vehicles Keyed Alike	59	50.00
Keyed Alike 1284x= 59B Keyed Alike 1294x= 59C Keyed Alike 0135x= 59D		
Keyed Alike 1435x= 59E Keyed Alike 0576x= 59F Keyed Alike 0151x= 59G		
Keyed Alike 1111x= 59J		

Safety & Security

[] Ballistic Door Panels – Driver Front Door Only (Level 3+)	90D	1590.00
[] Ballistic Door Panels – Driver & Pass Front Doors (Level 3+)	90E	3170.00
[] Ballistic Door Panels – Driver Front Door Only (Level 4+)	90F	2420.00
[] Ballistic Door Panels – Driver & Pass Front Doors (Level 4+)	90G	4830.00
[x] Extra Key \$20.00x 2 =	Parts	40.00
[x] Remote Starter	Parts	550.00
[] Gun Vault	63V	270.00
[] Front Headlamp Lighting Solution	66A	900.00

- Includes LED Low beam/High beam headlamp, Wig-wag function and (2) Red/Blue/White LED side warning lights in each headlamp (factory configured: driver's side White/Red / passenger side White/Blue)
- Includes pre-wire for grille LED lights, siren and speaker (60A)
- Wiring, LED lights included (in headlamps only; grille lights not included). Controller "not" included

Note: Included with Ready for the Road (67H)

Note: Recommend using Ultimate Wiring Package (67U)

Note: Included with Police Upgrade Package (65U)

[] Tail Lamp Lighting Solution	66B	430.00
• Includes LED Tail Lamp Wig-Wag Module		
• LED lights only. Wiring, controller "not" included		
Note: Included with Ready for the Road (67H)		
Note: Recommend using Ultimate Wiring Package (67U)		

[] Rear Lighting Solution	66C	460.00
• Includes two (2) backlit flashing linear high-intensity LED lights (driver's side red / passenger side blue) mounted to inside liftgate glass		
• Includes two (2) backlit flashing linear high-intensity LED lights (driver's side red / Passenger side blue) installed on inside lip of liftgate (lights activate when liftgate is open)		
• LED lights only. Wiring, controller "not" included		
Note: Included with Ready for the Road (67H)		

Note: LED lights only – does "not" include wiring or controller

[] Ultimate Wiring Package	67U	640.00
• Rear console mounting plate (85R) – contours through 2nd row; channel for wiring		
• Pre-wiring for grille LED lights, siren and speaker (60A)		
• Wiring harness I/P to rear cargo area (overlay)		
– Two (2) light cables – supports up to six (6) LED lights (engine compartment/grille)		
– One (1) 10-amp siren/speaker circuit engine compartment		
• Rear hatch/cargo area wiring – supports up to six (6) rear LED lights		
• Does "not" include LED lights, side connectors or controller		
Note: Recommend Police Wire Harness Connector Kit 67V		
Note: Not available with options: 65U, 67H		

[] Police Wire Harness Connector Kit – Front/Rear For connectivity to Ford PI Package solutions includes:	67V	200.00
--	-----	--------

- **Front**
 - (2) Male 4-pin connectors for siren
 - (5) Female 4-pin connectors for lighting/siren/speaker
 - (1) 4-pin IP connector for speakers
 - (1) 4-pin IP connector for siren controller connectivity
 - (1) 8-pin sealed connector
 - (1) 14-pin IP connector

- **Rear**
 - (2) Male 4-pin connectors for siren
 - (5) Female 4-pin connectors for lighting/siren/speaker
 - (1) 4-pin IP connector for speakers
 - (1) 4-pin IP connector for siren controller connectivity
 - (1) 8-pin sealed connector

[] Ready for the Road Package All-In Complete Package	67H	4050.00
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- All-In Complete Package – Includes Police Interceptor Packages: 66A, 66B, 66C, plus**
- Whelen Cencom Light Controller Head with dimmable backlight
 - Whelen Cencom Relay Center / Siren / Amp w/Traffic Advisor control (mounted behind 2nd row seat)
 - Light Controller / Relay Cencom Wiring (wiring harness) w/additional input/output pigtails
 - High current pigtail
 - Whelen Specific WECAN Cable (console to cargo area) connects Cencom to Control Head
 - Pre-wiring for grille LED lights, siren and speaker (60A)
 - Rear console plate (85R) – contours through 2nd row; channel for wiring
 - Grille linear LED Lights (Red / Blue) and harness
 - 100-Watt Siren / Speaker
 - Hidden Door-Lock Plunger w/Rear-door controls inoperable (locks, handles and windows) (52P)
- Note: Not available with options: 66A, 66B, 66C, 67U and 65U

Extended Service Plan Option (\$0.00 Deductible) 100,000 Mile Coverage

[x] 5-Year Premium Care Warranty (500 Plus Components Coverage)	3350.00
--	---------

Total Price \$49,541.00 ea



CANFIELD
EQUIPMENT
SERVICE, INC.

21533 Mound Road, Warren, MI 48091
Phone: 586.757.2020 Fax: 586.757.2294

SUBMITTED TO 5403400
BEVERLY HILLS PUBLIC SAFETY
18600 13 MI RD

BEVERLY HILLS MI 48025
PHONE: 248-540-3410

QUOTATION 1

QUOTE NO.	175779
DATE	10/23/25
EXPIRES	11/22/25

SHIP TO:
BEVERLY HILLS PUBLIC SAFETY
18600 13 MI RD

BEVERLY HILLS MI 48025
CONTACT: ldavis@beverlyhillspolice.co

TERMS	F.O.B	SALES REP	WRITTEN BY	POOL NO.	TAG
N30		K ENGBLOM	KE		
YOUR INQUIRY		MAKE	MODEL	YEAR	EST SHIP DATE

We hereby submit our quotation, subject to all terms and conditions
as set forth below or on attached sheets.

Furnish and install the following equipment into a
2025 Ford Utility DB Vehicle

Install all equipment as covertly as possible

Whelen

1 Red Micron LED
1 Blue Micron LED
*Mounted in the grille, spray tint
\$202.50

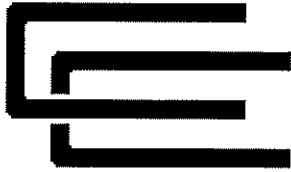
Whelen

2 100 Watt Siren Speakers
2 Siren Speaker Brackets
\$410.00

Whelen

2 Clear Vertex series LEDs

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18600 13 MI RD

BEVERLY HILLS MI 48025
PHONE: 248-540-3410

QUOTATION

2

QUOTE NO.	175779
DATE	10/23/25
EXPIRES	11/22/25

SHIP TO:

BEVERLY HILLS PUBLIC SAFETY
18600 13 MI RD

BEVERLY HILLS MI 48025
CONTACT: ldavis@beverlyhillspolice.co

TERMS	F.O.B	SALES REP	WRITTEN BY	POOL NO.	TAG
N30		K ENGBLOM	KE		
YOUR INQUIRY		MAKE	MODEL	YEAR	EST SHIP DATE

We hereby submit our quotation, subject to all terms and conditions
as set forth below or on attached sheets.

*One mounted in each headlight
\$202.50

Whelen

1 FST DUO Series InnerEdge Passenger Side Only
1 Core Siren / Lighting Controller
1 WCX Low Frequency Siren Speaker and Bracket
1 WCX Amplifier

\$3,342.10

Whelen

1 Red ION Series MOUNT LED
1 Blue ION Series MOUNT LED

*Mounted on the rear door side facing
\$202.50

Whelen

1 Red ION Series LED
1 Blue ION Series LED

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18600 13 MI RD

BEVERLY HILLS MI 48025
PHONE: 248-540-3410

QUOTATION

3

QUOTE NO.	175779
DATE	10/23/25
EXPIRES	11/22/25

SHIP TO:

BEVERLY HILLS PUBLIC SAFETY
18600 13 MI RD

BEVERLY HILLS MI 48025
CONTACT: ldavis@beverlyhillspolice.co

TERMS	F.O.B	SALES REP	WRITTEN BY	POOL NO.	TAG
N30		K ENGBLOM	KE		
YOUR INQUIRY		MAKE	MODEL	YEAR	EST SHIP DATE

We hereby submit our quotation, subject to all terms and conditions
as set forth below or on attached sheets.

*Mounted rear facing on the hatch
\$202.50

Whelen

1 Red ION Series LED
1 Blue ION Series LED

*One mounted in each rear side window, red on driver side
\$202.50

Whelen

1 Red MINI T-ION Series LED
1 Blue MINI T-ION Series LED

*Mounted on the bottom of the hatch
*Red on driver side
\$202.50

SOUND OFF

1 VEHICLE SPECIFIC TAILLIGHT FLASHER
\$97.72

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18600 13 MI RD

BEVERLY HILLS MI 48025
PHONE: 248-540-3410

QUOTATION

4

QUOTE NO.	175779
DATE	10/23/25
EXPIRES	11/22/25

SHIP TO:

BEVERLY HILLS PUBLIC SAFETY
18600 13 MI RD

BEVERLY HILLS MI 48025
CONTACT: ldavis@beverlyhillspolice.co

TERMS	F.O.B	SALES REP	WRITTEN BY	POOL NO.	TAG
N30		K ENGBLOM	KE		
YOUR INQUIRY		MAKE	MODEL	YEAR	EST SHIP DATE

We hereby submit our quotation, subject to all terms and conditions
as set forth below or on attached sheets.

Havis

1 12" Angled Center Console
1 Adjustable Arm-Rest
1 Dual Cup-Holder
2 Magnetic Mic Clips
1 Dual USB Charger Port
\$779.22

Havis

1 Charge Guard Timer
*Wired to CPU Dock and Modem
*Set for 1 hour
\$89.00

Panorama

1 800 Mhz Antenna with Cable
\$67.16

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QUOTATION

5

QUOTE NO.	175779
DATE	10/23/25
EXPIRES	11/22/25

SHIP TO:
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18600 13 MI RD

BEVERLY HILLS MI 48025
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TERMS	F.O.B	SALES REP	WRITTEN BY	POOL NO.	TAG
N30		K ENGBLOM	KE		
YOUR INQUIRY		MAKE	MODEL	YEAR	EST SHIP DATE

We hereby submit our quotation, subject to all terms and conditions
as set forth below or on attached sheets.

Canfield

1 Installation Labor / Shop Supplies / Power Distribution
1 Window Tint Visor 5%
1 Tint Front Doors 20%
\$3,995.98

This quotation may be withdrawn by us if order is not
placed within 30 days. Please refer to the above
quotation number when placing order.

Customer PO _____ Dealer Code _____
Authorized Signature _____

EST SUB TOTAL	9996.18
EST SALES TAX	0.00
EST TOTAL	9996.18



Manager Report

To: President George and Village Council

From: Warren Rothe, Village Manager

Re: November 5, 2025, Manager Report

General Updates

- A **special Council meeting** will be held on **Thursday November 6th** for the purposes of **interviewing Village Attorney candidates**. This meeting is open to the public.
- A preconstruction meeting for the **Public Safety carport project** was held earlier this week; and construction is estimated to begin in mid-November.
- **Officer Lawson** became the **new School Resource Officer** in early October; we welcome him to his new role! In his first month he gave a fire safety presentation at Greenfield Elementary.
- **Yeo & Yeo**, the Village **auditors will be onsite** the week of November 10th to complete the audit fieldwork.
- Village offices will be **closed on November 11th** in recognition of Veteran's Day.
- The Department of Public Safety has made **four conditional offers of employment** to candidates, **all of whom have accepted**.
- The Village has launched a **new online portal** where the community can [access](#) Village Council and other Board and Commission **agendas, minutes, and packets**. Once meeting video is available, it will be accessible directly through the portal. This is part of the Civic Clerk software the Village Council approved several months ago.
- **Budget amendments** are being prepared for Council's consideration at the November 18th Council meeting.
- The **Planning Commission** will meet in November to consider **two sign applications**.
- At the October 16th **Parks and Rec Board meeting**, the Board discussed two proposals from its partner Wayne State University regarding sculptures in the various Village parks.

- The **Zoning Board of Appeals** will not meet in November due to a lack of business items.
- The Village has published an **RFP** for the **Southfield & Beverly Intersection Study**, which is primarily funded through a grant from Oakland County. Proposals are due on November 21st, 2025. Council approval will be sought in December.
- The Village continues to work with **Senator Moss's Office** to receive approval to award the bid for the **Spark Grant**.
- A preconstruction meeting for the **TAP Project** is being scheduled.
- The Village Treasurer has been preparing the **special assessments** for the recently completed sidewalk program and will be mailing them the week of November 6th.
- The **Planning Commission** will meet on November 18th and consider two sign applications.
- The Public Safety Department's **"Fill the Boot" fundraiser** for Breast Cancer Awareness Month collected over \$4,200. Thank you to everyone who donated!
- **Safe Routes to School**: 4 of 5 remaining locations have been poured. The final area is on Beechwood and is being held up until DTE relocates a nearby utility pole. Final adjustments and restoration are ongoing. Crosswalk striping is currently underway. Landscaping will be installed on November 1st.
- **Sewer cleaning** on the additional identified areas has been completed; **lining will occur in the coming weeks**.
- **2025 aerial imagery** is now available on Oakland County Property Gateway.
- **RFPs are being developed** for FY 26 planned improvements to Beverly Green and Riverside parks.
- Beverly Hills residents **seeking assistance with utility bills** can contact United Way of Southeast Michigan regarding various **assistance programs**. The best way to connect is by calling 2-1-1.
- The **Oakland County Road Commission** has invited the Village and other regional stakeholders to participate in a **meeting on the Environmental Assessment Improvement Project for Southfield Road** that will extend from Mt. Veron Street to 13 Mile. A meeting time is yet to be announced.



Public Safety

Highlights & Statistics

October 2025

573 Calls for Service.
64 Tickets issued.
20 Arrests.

1. Officers stopped a driver for a violation at 13 Mile and Southfield. The driver was arrested for Driving While License Suspended and for a warrant out of Birmingham PD. The arrest was without incident.
2. Officers were dispatched to Troy PD to pick up a subject with a warrant. The arrest was without incident.
3. Officers were dispatched to a noise complaint involving loud fireworks on Kinross. Upon their arrival, officers observed approximately 100 juveniles fleeing on foot in various directions. Some of the juveniles appeared intoxicated and there were multiple open containers of alcohol on the front yard. The owner of the house was cited for having an open house party.
4. Two juveniles were arrested and turned over to their parents after fleeing the above open house party. The juveniles were cited for Minor in Possession.
5. Officers stopped a driver for a traffic violation at Saxon and Beaconsfield. The driver was arrested for Operating While Intoxicated and taken into custody without incident.
6. Officers were dispatched to Birmingham PD to pick up a subject with a felony warrant. The subject was taken into custody without incident.
7. Officers located a vehicle that had been reported as a drunk driver by Southfield PD. Officers stopped the driver on 13 Mile near Lahser. The driver was arrested for Operating While Impaired and taken into custody without incident.
8. Officers were dispatched to Market Fresh for a customer Trouble incident. Officers arrested a subject that had assaulted an employee.
9. Officers stopped a driver for a traffic violation at 14 Mile and Lahser. The driver was arrested for Driving While License Suspended and taken into custody without incident.
10. Officers stopped a driver for speeding at Lahser and Hampton. The driver was arrested for Driving While License Suspended and taken into custody without incident.

11. Officers were dispatched to the Macomb County Jail to pick up a subject with a warrant. The arrest was without incident.
12. Officers were dispatched to Berkley PD to pick up a subject with a warrant. The arrest was without incident.
13. Officers stopped a driver for a traffic violation at Southfield and 13 Mile. The driver was arrested for Driving While License Suspended and taken into custody without incident.
14. Officers were dispatched to the Huntley Square Apartments for a Domestic Dispute. One subject was arrested for Domestic Violence.
15. Officers were dispatched to Detroit PD to pick up a subject with a warrant. The arrest was without incident.
16. Officers contacted the driver of a suspicious vehicle parked at the Independent bank. The driver was arrested for having opened intoxicants in the vehicle.
17. Officers stopped a driver for speeding at Southfield and 13 Mile. The driver was arrested for Operating While Intoxicated and taken into custody without incident.
18. Officers investigated a male who was in possession of fraudulent identification while at Independent Bank and was trying to withdraw money under false pretenses. Male was arrested.
19. Officers were dispatched to a neighbor trouble on Arlington. One subject was arrested for assault and battery and taken into custody without incident.

*****The public safety department would like to strongly encourage our residents to be as vigilant as possible all year round when it comes to securing vehicles and property that are parked or stored outside. *****

20. Officers recovered a stolen vehicle from Huntley Square Apartments that was not returned after a test drive from the dealership.
21. Two vehicles were left unlocked with the keys inside and were both stolen from the same driveway on Hillcrest. One of the vehicles was recovered by our Beverly Hills Detective. The other was recovered by the Oakland County UDAA Taskforce.
22. One vehicle was stolen, and another was broken into in the same driveway on Weston. Multiple items were taken from the vehicle that was not stolen. The stolen vehicle was recovered by the Oakland County UDAA Taskforce.
23. Officers attempted to stop a vehicle at 13 Mile and Greenfield. The vehicle fled the scene and was later identified as having just been stolen out of Birmingham. Pursuit was terminated by the shift supervisor due to excessive speeds.
24. Our School Resource Officer participated in fulfilling a request from the make-a-wish foundation for a teenage cancer patient at their first operation that was scheduled at Corewell Health Hospital in Royal Oak on October 7th.
25. Officers held a multiple "Fill the Boot" cancer relief drives this month in front of Market Fresh and the Corners Shopping Mall. Total amount collected for the month was \$4,200.
26. Our School Resource Officer gave a fire presentation for all the kindergarteners and preschoolers at Greenfield Elementary.
27. We have made four conditional offers of employment to PSO candidates, and they have all been accepted.

Beverly Hills Department of Public Safety 2025 Monthly Performance Report

	January	February	March	April	May	June	July	August	September	October	November	December	Total
Total Calls For Service	485	418	425	478	438	510	470	594	632	573			5,023
Arrests & Traffic Citations													
Arrests Total	7	6	8	15	7	13	9	5	8	20			98
OWI Arrests (Drunk Driving)	0	1	2	2	0	2	0	1	2	3			13
Drug Arrests	0	0	0	0	0	0	0	0	1	0			1
Traffic Violations	70	70	84	84	50	82	67	114	135	64			820
Accidents													
Personal Injury Accidents	1	1	0	1	3	1	2	3	3	1			16
Property Damage	9	13	19	12	14	21	25	21	25	26			185
Fire Division													
Fire Response (structure & car fires)	1	0	1	0	1	0	0	0	1	0			4
Smoke & Downed Wire Responses	0	2	2	1	0	4	4	0	1	0			14
Medical & Ambulance Responses	55	34	42	39	45	40	40	40	36	43			414
Odor, Carbon Monoxide & Fire Alarms	3	4	0	4	2	8	5	5	7	12			50
Fire Inspections & Plan Reviews	1	2	1	1	0	0	1	2	0	0			8
Mutual Aid Provided to S.O.F.A.	0	2	0	1	0	0	1	1	0	2			7
Mutual Aid Received from S.O.F.A.	0	0	1	0	0	0	0	0	0	0			1
Detective Bureau & School Resource													
Cases Investigated	19	14	16	20	21	13	18	20	32	22			195
Gun Related Cases	0	1	0	0	1	0	0	1	0	0			3
Guns Seized	0	1	0	0	1	0	0	1	0	0			3
Warrants Submitted	4	0	2	4	0	2	1	6	4	9			32
Warrants Obtained	4	0	2	4	0	2	1	5	3	3			24